

**AGENDA
REGULAR MEETING OF THE
BOARD OF DIRECTORS OF THE
OAKDALE IRRIGATION DISTRICT
TUESDAY, FEBRUARY 7, 2017**

Agendas and Minutes are on our website at www.oakdaleirrigation.com

CALL TO ORDER 9:00 a.m., the Boardroom of the District Office
1205 East F Street, Oakdale, California 95361

PLEDGE OF ALLEGIANCE

ROLL CALL Directors Webb, Doornenbal, Osmundson, Altieri, Santos

ADDITIONS OR DELETION OF AGENDA ITEMS

ACTION TO TAKE VARIOUS ITEMS OUT OF SEQUENCE

PUBLIC COMMENTS - ITEM 1

1. The Board of Directors welcomes participation in meetings. This time is provided for the public to address the Directors of the District on matters of concern that fall within the jurisdiction of the Board that are not on the agenda.

Speakers are encouraged to consult District Management or Directors prior to agenda preparation regarding any District operation or responsibility as no action will be taken on non-agenda issues. It is not required, but speakers may provide their name and address.

Because these are non-agenda matters, generally no discussion or comment by the Board should be expected except to properly refer the matter for review or action as appropriate.

Public Comments will be limited to five minutes per speaker.

CONSENT CALENDAR - ITEMS 2 - 19

Agenda items listed under the Consent Calendar may be acted upon individually, in whole or in part. Subsequently, should discussion on a particular item be desired, you should identify the item now so as to remove it from the list of items to be approved under one motion. Any items removed from the list on Consent Calendar items will be discussed and acted upon individually following action on the remaining Consent Calendar items if so moved.

2. Approve the **Board of Directors' Minutes of the Special Meeting of January 18, 2017 and Resolution Nos. 2017-07 and 2017-08**
3. Approve **Oakdale Irrigation District Statement of Obligations**
4. Approve **Treasurer and Chief Financial Officer's Report for the Month Ending December 31, 2016**
5. Approve **Award of Bid to Tri-West Tractor, Inc. for Two (2) Kobelco 55SRX-6E Compact Excavators with Attachments**
6. Approve **Award of Bid to Haidlen Ford for Two (2) - 2017 Model ½ Ton 2WD Pickups, One (1) - 2017 Model ½ Ton 4WD Pick-up, Two (2) - 2017 Model ¾ Ton 4WD Pick-ups, and One (1) - 2017 Model 4WD Cab & Chassis (Crew Truck) and Sole Source the Fabrication and Installation of a Custom Bed to Stiles Truck Body & Equipment, Inc. (Budgeted)**
7. Approve **Work Release No. 008 to Professional Services Agreement 2011-PSA-008 with Davids Engineering to Update the Water Balance of the Agriculture Water Management Plan**
8. Approve **Work Release No. 063 to Professional Services Agreement 2009-PSA-015 with Giuliani & Kull, Inc. for Professional Services to Conduct a Boundary and Easement Survey and Prepare a Plat and Legal Description for a Fourteen Foot Access Easement through APNS: 010-011-013/057/060/061/062/066, 011-001-035/036 and 002-023-013**
9. Approve **Work Release No. 064 to Professional Services Agreement 2009-PSA-015 with Giuliani & Kull, Inc. for Professional Services to Prepare a Request for Proposal to Select an Architectural Service Associated with the Design of a New Facility**
10. Approve **Request for New Connections for Substandard Parcels Served by the Leitch Lateral (APNS: 207-250-34/35/36/37/38/39/40/41/42 – 385 Oakdale Harris, LLC)**
11. Approve **Request to Waive OID Parcel Map Policy Delivery Measurement Requirements and Approve Deferred Conditions of Approval Agreement (APNS: 207-25-30/31/32/33/34/35/36/37/38/39/40/41/42/43/44/45/46/47/48/51/52/53/54 – 385 Oakdale Harris, LLC)**
12. Approve **Encroachment Permit and Agricultural Discharge Permit on the Riverbank Lateral (APN: 063-025-008 – Vierra Bros. Dairy LP)**
13. Approve **Abandonment and Quitclaim of a Portion of the Frymire Lateral (APN: 002-034-083 – Lagarbo)**

14. **Approve Grant of Easements and Encroachment Permits on the Albers and Edwards Drains and Agricultural Discharge Permit on the Albers Drain (APN: 014-030-001 – The John and Jacqueline Brichetto 2008 Revocable Trust Dated May 7, 2008, Joseph P. Brichetto, John M. and Lee Ana L. Brichetto)**
15. **Approve Grant of Easement and Encroachment Permit on the Albers Drain (APN: 014-018-004 – The John and Jacqueline Brichetto 2008 Revocable Trust Dated May 7, 2008, Joseph P. Brichetto, John M. and Lee Ana L. Brichetto)**
16. **Approve Encroachment Permit on the Albers Lateral (APNS: 014-006-001/002 – The John and Jacqueline Brichetto 2008 Revocable Trust Dated May 7, 2008, Joseph P. Brichetto, John M. and Lee Ana L. Brichetto)**
17. **Approve Encroachment Permit on the Claribel Vamp Pipeline (APN: 014-044-003 – The John and Jacqueline Brichetto 2008 Revocable Trust Dated May 7, 2008, Joseph P. Brichetto, and John M. and Lee Ana L. Brichetto)**
18. **Approve Encroachment Permit and Agricultural Discharge Permit on the Adams No. 1 Pipeline (APN: 010-039-047 – The John and Jacqueline Brichetto 2008 Revocable Trust Dated May 7, 2008, Joseph P. Brichetto, and John M. and Lee Ana L. Brichetto)**
19. **Approve Encroachment Permit on the Town “E” Pipeline and Encroachment Permit and Agricultural Discharge Permit on the Birnbaum Pipeline (APN: 063-005-004 – The John Peter Brichetto 2008 Irrevocable Trust Dated December 24, 2008, the John Michael Brichetto 2012 Irrevocable Trust Dated December 21, 2012, the Joseph Paul Brichetto 2012 Irrevocable Trust Dated December 21, 2012)**

| |
|--|
| ACTION CALENDAR - ITEMS 20 - 25 |
|--|

20. **Review and take possible action to Refund Volumetric Delivery Fees Assessed for a Scheduled Irrigation Event on October 3, 2016 (APN: 062-010-028 – May)**
21. **Review and take possible action to Approve Amendment No. 03 to Work Release No. 009 to Professional Services Agreement 2009-PSA-003 with Condor Earth Technologies, Inc. to Provide Additional Bidding Support for the OLD South Main Canal Two-Mile Bar Tunnel Project**
22. **Review and take possible action Adopt a Resolution Amending the Reserve Policy to Include a Debt Service Reserve**
23. **Review and take possible action to Approve a Fund Transfer to Designated Reserves**

24. Review and take possible action to **Adopt a Resolution Accepting Department of Water Resources Proposition 1 Water Use Efficiency Grant Funds and Authorize General Manager to Execute Cost-Share Commitment Letter**

25. Review and take possible action to **Adopt a Resolution Amending Subdivision Parcel Map Policy**

DISCUSSION – ITEMS 26 - 27

26. Discussion on **District's Portfolio as of December 31, 2016**

27. Discussion on **Water Availability in 2017**

COMMUNICATIONS - ITEM 28

28. **Oral Reports and Comments**

A. **General Manager's Report on Status of OID Activities**

B. **Committee Reports**

C. **Directors' Comments/Suggestions**

CLOSED SESSION - ITEM 29

29. Closed Session to discuss the following:

A. **Government Code §54956.8 Conference with Real Property Negotiator**

Negotiating Parties: OID, SSJID and Stockton East Water District

Property: Water

Agency Negotiators: General Manager and Water Counsel

Under Negotiations: Price and Terms

B. **Government Code §54956.8 Conference with Real Property Negotiator**

Negotiating Parties: OID, SSJID, MID, TID, MeID

Property: Water

Agency Negotiators: General Manager

Under Negotiations: Price and Terms

C. **Government Code §54956.8 Conference with Real Property Negotiator**

Negotiating Parties: OID and Heritage Self Storage

Property: APNS: 063-024-023/024/025 (Greger/Kaufman)

Agency Negotiators: General Manager

Under Negotiations: Price and Terms

D. Government Code §54957

Public Employee Discipline/Dismissal/Release

OTHER ACTION – ITEM 30

30. Adjournment:

- A. The next Special Board Meeting of the **Oakdale Irrigation District Board of Directors** is scheduled for **Tuesday, February 21, 2017 at 6:00 p.m.** in the board room at 1205 East F Street, Oakdale, CA.
- B. The next Joint Board Meeting of the **South San Joaquin and Oakdale Irrigation Districts** serving the **Tri-Dam Projects** and **Tri-Dam Authority** and other joint business matters is scheduled for **Thursday, February 16, 2017 at 9:00 a.m.** in the board room of the South San Joaquin Irrigation District, 11011 East Highway 120, Manteca, CA.

Writings distributed to Board Members in connection with the open session items on this agenda are available for public inspection in the office of the Board Secretary. Any person who has a question concerning any of the agenda items may call the Administrative Assistant at (209) 840-5507.

ADA Compliance Statement: In compliance with the Americans with Disability Act, if you need special assistance to participate in this meeting, please contact the Administrative Assistant at (209) 840-5507. Notification 48 hours prior to the meeting will enable the District to make reasonable arrangements to ensure accessibility to this meeting.



PUBLIC COMMENTS

No Information Included

BOARD MEETING OF FEBRUARY 7, 2017



AGENDA ITEMS CONSENT CALENDAR

BOARD MEETING OF FEBRUARY 7, 2017

BOARD AGENDA REPORT

Date: February 7, 2017
Item Number: 2
APN: N/A

SUBJECT: APPROVE THE BOARD OF DIRECTORS' MINUTES OF THE SPECIAL MEETING OF JANUARY 18, 2017 AND RESOLUTION NOS. 2017-07 AND 2017-08

RECOMMENDED ACTION: Approve

ATTACHMENTS:

- Draft Minutes of the Board of Directors' Special Meeting of January 18, 2017
- Draft Resolution No. 2017-07
- Draft Resolution No. 2017-08

Board Motion:

Motion by: _____ **Second by:** _____

VOTE:

Webb (Yes/No) Doornenbal (Yes/No) Osmundson (Yes/No) Altieri (Yes/No) Santos (Yes/No)

Action(s) to be taken:

MINUTES

Oakdale, California
January 18, 2017

The Board of Directors of the Oakdale Irrigation District invited all to recite the Pledge of Allegiance and then met in Special Session at the hour of 6:00 p.m. Upon roll call, there were present:

Directors: Steve Webb, President
Herman Doornenbal, Vice President
Gary Osmundson
Gail Altieri
Linda Santos

Staff Present: Steve Knell, General Manager/Secretary
Jason Jones, Support Services Manager
Eric Thorburn, Water Operations Manager
Kathy Cook, Chief Financial Officer

Also Present: Fred A. Silva, General Counsel

ADDITION OR DELETION OF AGENDA ITEMS

There were no additions or deletions of agenda items.

ACTION TO TAKE VARIOUS ITEMS OUT OF SEQUENCE

There were no agenda items taken out of sequence.

At the hour of 6:00 p.m. the Board welcomed public comment.

PUBLIC COMMENT ITEM NO. 1

Damon Woods stated that he would like to see the District not sell water and instead keep the water in the District and give it to the constituents.

Robert Frobose commented on how public comments are reflected in the Minutes.

There being no further Public Comment; Public Comment closed at 6:05 p.m.

PUBLIC HEARING
ITEM NO. 2

ITEM NO. 2
PUBLIC HEARING TO ACCEPT COMMENTS ON THE EXECUTION OF THE
MEMORANDUM OF UNDERSTANDING FORMING THE STANISLAUS AND
TUOLUMNE RIVERS GROUNDWATER BASIN ASSOCIATION GROUNDWATER
SUSTAINABILITY AGENCY FOR THE MODESTO SUB-BASIN

Public comment was opened up at 6:05 p.m.

There being no public comments, the public hearing closed at the hour of 6:05 p.m.

Director Altieri requested that Item No. 13 be pulled from the Consent Calendar; Director Santos requested that Item Nos. 8, 11, 12, and 14 be pulled from the Consent Calendar.

CONSENT ITEMS
ITEM NOS. 3, 4, 5, 6, 7, 9, 10

ITEM NO. 3
APPROVE THE BOARD OF DIRECTORS
MINUTES OF THE REGULAR MEETING OF JANUARY 3, 2017 AND
RESOLUTION NOS. 2017-01, 2017-02, 2017-03, 2017-04, 2017-05, AND 2017-06

A motion was made by Director Osmundson, seconded by Director Doornenbal, and unanimously supported to approve the Board of Directors' Minutes of the Regular Meeting of January 3, 2017 and Resolution Nos. 2017-01, 2017-02, 2017-03, 2017-04, 2017-05, and 2017-06.

ITEM NO. 4
APPROVE THE BOARD OF DIRECTORS MINUTES OF THE
SPECIAL MEETING OF DECEMBER 21, 2016 AND RESOLUTION NO. 2016-81.

A motion was made by Director Osmundson, seconded by Director Doornenbal, and unanimously supported to approve the Board of Directors' Minutes of the Special Meeting of December 21, 2016 and Resolution No. 2016-81.

ITEM NO. 5
APPROVE THE OAKDALE IRRIGATION
DISTRICT STATEMENT OF OBLIGATIONS

A motion was made by Director Osmundson, seconded by Director Doornenbal, and unanimously supported to approve the Oakdale Irrigation District's Statement of Obligations.

ITEM NO. 6
APPROVE IMPROVEMENT
DISTRICT STATEMENT OF OBLIGATIONS

A motion was made by Director Osmundson, seconded by Director Doornenbal, and unanimously supported to approve the Improvement District's Statement of Obligations

ITEM NO. 7
APPROVE ASSIGNMENT OF
CAPITAL WORK ORDER NUMBERS

A motion was made by Director Osmundson, seconded by Director Doornenbal, and unanimously supported to approve the assignment of the following Capital Work Order Numbers:

| <u>Facility</u> | <u>Project Description</u> | <u>Estimated Cost</u> | <u>Work Order No.</u> |
|------------------|--|-----------------------|-----------------------|
| South Main Canal | Conдор design, plans, and specifications for the long-term repairs of Segment 4. | \$ 72,182 | 2016-065 |
| Lesnini Lateral | Install 1200' of 36" 100 PSI PIP PVC, 1-12"-18" rip rap, 11-36" 22.5 degree elbows, 3-36" 45 degree elbows, and 2-36" 90 degree elbows. (APN: 002-066-016) | 202,100 | 2017-003 |
| Faxon Headgate | Install 1-Rubicon FlumeMeter, 3-Toughsonic level sensors, 1-Rug3 Controller and misc. appurtenances. (APN: 064-031-029) | 37,700 | 2017-004 |
| Young Lateral | Install 1-12" turnout, 1-21" turnout, 1-5'x7' pre-cast MBI turnout structure, 1-21" coupler, 1-21" x8' Fresno 101C gate, and misc. appurtenances. (APN: 002-012-063) | 42,100 | 2017-005 |
| Palmer Lateral | Install 3-Toughsonic level sensors, 1-Rug3 Controller, 1-serial radio and misc. appurtenances. (APN: 014-021-003/005) | 13,300 | 2017-006 |

ITEM NO. 9
APPROVE PURCHASE OF NEW POSTAGE
METER FROM HASLER/NEOPOST (BUDGETED ITEM)

A motion was made by Director Osmundson, seconded by Director Doornenbal, and unanimously supported to approve the purchase of a new postage meter from Hasler/Neopost (budgeted item).

ITEM NO. 10
APPROVE A CONTRIBUTION TO THE CALIFORNIA FARM
WATER COALITION FOR THEIR AGRICULTURAL WATER EXHIBITS

A motion was made by Director Osmundson, seconded by Director Doornenbal, and unanimously supported to approve the donation to the California Farm Water Coalition for their Agricultural Water Exhibits.

The above Consent Items passed unanimously by the following vote:

| | |
|---------|--|
| Ayes: | Directors Webb, Doornenbal, Osmundson, Altieri, Santos |
| Noes: | None |
| Absent: | None |

PULLED CONSENT ITEMS
ITEM NOS. 8, 11, 12, 13, 14

ITEM NO. 8
APPROVE ANNUAL REVIEW OF ASSIGNED VEHICLES

A motion was made by Director Doornenbal, seconded by Director Osmundson, and unanimously supported to approve the Annual Review of Assigned Vehicles.

ITEM NO. 11
APPROVE AMENDMENT NO. 05 TO PROFESSIONAL
SERVICES AGREEMENT 2011-PSA-008 WITH DAVIDS
ENGINEERING, INC. FOR REVISED HOURLY RATE SCHEDULE

A motion was made by Director Santos, seconded by Director Altieri, and unanimously supported to approve the Amendment No. 05 to Professional Services Agreement 2011-PSA-008 with Davids Engineering, Inc. for revised hourly rate schedule.

ITEM NO. 12
APPROVE WORK RELEASE NO. 003 TO GENERAL
SERVICES AGREEMENT 2015-GSA-002 WITH
SIERRA CONTROLS, LLC FOR TECHNICAL SUPPORT

A motion was made by Director Santos, seconded by Director Altieri, and unanimously supported to approve Work Release No. 003 to General Services Agreement 2015-GSA-002 with Sierra Controls, LLC for Technical Support.

ITEM NO. 13
APPROVE TEMPORARY PERMIT WITH
BUREAU OF RECLAMATION FOR GRAVEL INJECTION

A motion was made by Director Altieri, seconded by Director Santos, and unanimously supported to approve the Temporary Permit with Bureau of Reclamation for Gravel Injection.

ITEM NO. 14
APPROVE RESOLUTION ADOPTING THE REVISED
FRINGE PARCELS WATER ALLOCATION POLICY (AMENDED)

A motion was made by Director Webb, seconded by Director Osmundson, and unanimously supported to approve the Resolution Adopting the Revised Fringe Parcels Water Allocation Policy (Amended).

The above Pulled Consent Items passed unanimously by the following vote:

| | |
|---------|--|
| Ayes: | Directors Webb, Doornenbal, Osmundson, Altieri, Santos |
| Noes: | None |
| Absent: | None |

ACTION CALENDAR
ITEMS NOS. 15, 16

ITEM NO. 15
REVIEW AND TAKE POSSIBLE ACTION TO ADOPT A RESOLUTION
AUTHORIZING THE GENERAL MANAGER TO EXECUTE THE
MEMORANDUM OF UNDERSTANDING FORMING THE STANISLAUS AND
TUOLUMNE RIVERS GROUNDWATER BASIN ASSOCIATION (STRGBA)
GROUNDWATER SUSTAINABILITY AGENCY AND AUTHORIZE STRGBA TO
PREPARE AND SUBMIT NOTICE OF STRGBA'S ELECTION TO BE THE
GROUNDWATER SUSTAINABILITY ASSOCIATION FOR THE
MODESTO SUB-BASIN TO THE DEPARTMENT OF WATER RESOURCES

A motion was made by Director Santos, seconded by Director Altieri, and unanimously supported to adopt the Resolution Authorizing the General Manager to Execute the Memorandum of Understanding Forming the Stanislaus and Tuolumne Rivers Groundwater Basin Association (STRGBA) Groundwater Sustainability Agency and Authorize STRGBA to prepare and submit Notice of STRGBA's Election to be the Groundwater Sustainability Association for the Modesto Sub-Basin to the Department of Water Resources.

The above item passed unanimously by the following vote:

| | |
|---------|--|
| Ayes: | Directors Webb, Doornenbal, Osmundson, Altieri, Santos |
| Noes: | None |
| Absent: | None |

ITEM NO. 16
REVIEW AND TAKE POSSIBLE ACTION TO AMEND THE OAKDALE
IRRIGATION DISTRICT'S ORGANIZATIONAL CHART TO ELIMINATE ONE
ASSISTANT ENGINEER AND ADD AN ASSOCIATE ENGINEER POSITION

A motion was made by Director Santos, seconded by Director Altieri, and unanimously supported to amend the Organizational Chart to eliminate one Assistant Engineer and add an Associate Engineer position.

The above item passed unanimously by the following vote:

| | |
|---------|--|
| Ayes: | Directors Webb, Doornenbal, Osmundson, Altieri, Santos |
| Noes: | None |
| Absent: | None |

**DISCUSSION CALENDAR
ITEM NOS. 17, 18**

**ITEM NO. 17
DISCUSSION ON WORKLOAD AND OBJECTIVES FOR 2017**

General Manager discussed the workload and objectives for 2017.

**ITEM NO. 18
DISCUSSION ON BUSINESS ITEMS AS THEY APPEAR ON THE
TRI-DAM BOARD AGENDA FOR THURSDAY, JANUARY 19, 2017**

There was no discussion on this item.

**COMMUNICATIONS
ITEM NO. 19**

A. GENERAL MANAGER'S REPORT

Safety Activities

1. OID has gone 85 days without a lost time injury accident.

Administration Activities

1. Continuing to develop and prepare comments to the Water Quality Control Plan (Unimpaired Flow Standard) from the State Water Resources Control Board.
2. Settlement discussions on the Stanislaus River had a first meeting on January 11, 2017.
3. OE3 labor negotiations continue.
4. Exchanging Action Plan concepts with City Manager of City of Oakdale.
5. Small mudslide in South Main. Two other smaller slides have occurred.
6. Tunnel tours scheduled for January 11th for Farm Bureau auction winner Joe Tune have been cancelled due to mudslides.
7. Chamber of Commerce Community Awards Dinner to be held on January 20th. Contact Lori for tickets. OID's AJ Borba to receive recognition for completion of the Chamber's Leadership Program.
8. City of Oakdale's Mayor Luncheon to be held on January 25th. Contact Lori for tickets.
9. Will be attending a seminar in Aptos put on by Steamboat Institute on "The Path Forward: America in 2017 and Beyond. A presenter will be President Elect Trump's nominee for the Secretary of Interior, Ryan Zinke. Both SSJID and OID will be able to discuss the new WRDA legislation and the potential benefits to our river with the Secretary Nominee.

Legal Activities

1. OID/SSJID vs the State Water Resources Control Board; Court date anticipated to be set for next summer.
2. OID/SSJID as intervenors in the CalSPA v. SWRCB; A trial date is set for Alameda County Court on August 7, 2017.
3. OGA/Brichetto/Frobose vs. OID regarding CEQA case:
 - a. Trial set for January 18th
4. OGA/Brichetto/Frobose vs. OID regarding Contempt of Court by OID:
 - a. Hearing set for January 18th
5. OID vs Directors Santos and Altieri regarding their ability to be in Closed Session on matters related to the OGA case due to their declarations in support of the OGA case, two breaches of closed session, and undisclosed conflict of interests with Frobose.
 - a. The case is moving forward.
6. Recall of Director for District 4
 - a. Recall election approved by the County Board of Supervisors on Tuesday January 10th.
 - b. Candidacy period open from January 11th to February 9th.
 - c. A Recall election is scheduled for April 25th.
7. Redistricting Process
 - a. Staff had a conference call with Stanislaus County IT/GIS personnel. Lots of updating and data exchanges occurring.
 - b. Regulatory compliance date is 180 days preceding the election or May 11th.

Construction Activities

1. C&M crews and equipment operators continue to progress on capital projects and maintenance work.
2. Assisting Water Ops./Eng. Dept. with various tasks including storm water management.
3. Conducting Safety Coordinator tasks as needed. A CPR/First Aid/AED training class was conducted on 1/5.
4. Conducting Contract Administration tasks as needed.
5. C&M Worker – The third candidate, Chris Reece started employment at OID on 1/3.
6. C&M Leadman – Post In-House for the vacant position. Posting closed on 1/13.
7. Two Mile Bar Tunnel Project – An additional pre-bid meeting and site visit was conducted on 1/13. There has been five addendums issued as of 1/13 addressing questions presented by the potential bidders. Bids are due on 1/19 and will be presented to the BOD for award of bid on 2/7 with a recommendation from staff. Start of construction is anticipated to be between 3/1 and 4/15 and will be determined based on the contractors schedule. Substantial completion date for the Project is still 12/31/2018.
8. Received the crew truck cab and chassis from Haidlen Ford and delivered the truck to Stiles to fabricate and install the custom bed.
9. Completed and submitted the annual California Environmental Reporting System (CERS) documents for 2017. This program identifies the chemicals used and stored by the District including an Emergency Response Plan and Training Plan.
10. Preparing Request for Bid (RFB) documents and specifications on items approved as part of the 2017 Budget.

Water Operations Activities

Engineering

1. Continued to process Encroachment and Ag Discharge Agreements and conduct field inspections during installation of the associated facilities.
2. Staff continued to work with landowners requesting deferred conditions of approval agreements, encroachment agreements and easements in accordance to OID's requirements for continued irrigation on recently completed lot line adjustments and parcel split projects.
3. Evapotranspiration (ET) monitoring stations installed as part of the 2016 ET Monitoring and Measurement Project collected data through the end of October. The Tule ET stations remain in most the fields to collect additional data for the full year of the contract period (+/- May 2016). Amendments to reflect the extended contract period are in the process of being executed with each landowner.
4. Staff continued to work with South San Joaquin Irrigation District, Calaveras County Water District, San Joaquin County and Stanislaus County to complete the draft mapping of OID's proposed Groundwater Sustainability Agency (GSA) boundaries in the East San Joaquin Groundwater Basin (ESJGBA). The required GSA hearing, resolution and final filing is anticipated to be completed during the first few months of the year to allow for each election being proposed to meet or precede the June 2017 90-day posting, Department of Water Resources review and final approval deadline.
5. Staff attended the ESJGBA work group meeting on January 11th. Revisions to the draft JPA agreement and GSA formation status were discussed. A draft JPA is anticipated to be finalized for Board review and consideration after the February 8th work group meeting.
6. A public hearing announcement of the intent to execute the Stanislaus and Tuolumne Groundwater Basin Association (STRGBA) GSA Memorandum of Understanding (MOU) and form the STRGBA GSA in representation of the Modesto Groundwater Subbasin was posted in the Oakdale Leader on December 28th and again on January 4th. A public hearing followed by potential adoption by OID's Board of Directors will occur at the January 18th meeting. Each agency is anticipated to take action to adopt the MOU on or before February 14th to allow for a formal filing for GSA formation to be submitted to the Department of Water Resources within the 30-day window permitted under the new groundwater legislation.
7. Staff attended the STRGBA meeting on January 12th. The STRGBA GSA MOU adoption and public hearing status of each member agency was discussed to ensure everyone was on schedule.
8. Staff attended the Stanislaus County Technical Advisory Committee (TAC) meeting on January 12th. The status of Stanislaus County's Programmatic Environmental Impact Report and groundwater model was provided. The project is continuing to proceed through the data assembly stage.
9. Staff is in the process of completing draft Annexation Agreements for review and discussion with each applicant prior to bringing them back to the board for final direction and approval.
10. Staff is working with CH2M and Stanislaus County staff to generate a draft boundary adjustment proposal that will balance not only population, but also more equally distribute acreage and small and large parcels amongst each director's division. A GIS shapefile of other existing County election precinct boundaries was also provided to OID staff for review and consideration in doing so.

11. City staff continued to address a series of questions on the draft City of Oakdale Out of Boundary Service Agreement with OID on behalf of ID 41. Once these questions have been answered the agreement will be provided to the ID 41 membership for approval to proceed.
12. Staff continued the surveying, design, cost estimates, landowner meetings and drafting of plans for 2016/17 winter work projects.

Ag Water

1. Continued to respond and address questions regarding volumetric water deliveries as they were received.
2. OID staff will began working with DWR through the draft grant agreement process prior to final approval by the Board and initiation of any construction. DWR staff anticipates the execution of the agreement to take a minimum of 6 months, but also requires it to be complete within one year of the awards announcement.
3. The pre-employment process was completed for two new DSO/C&M Workers. Steven Pattison's first day was January 10th and Chris Becker will be starting on January 23rd.
4. Continued to progress with updates and slight modifications to the Storm tracking software mainly based on customer and DSO feedback to continue to improve functionality and effective utilization of the software.
5. Winter water operations continued. OID has fared quite well over the last series of storm events due to considerable preparation and planning.

Water Utilities

1. Improvement District No. 41:
 - Pumping Station No. 3 remains out of service due to high turbidity issues.
2. Domestic Water Pumping Stations:
 - All Domestic Water Pumping Stations that are in service are operational.
3. Domestic Water Systems:
 - a. All water systems are operating without restrictions.
 - b. Performed quarterly blow-off valve exercising.
 - c. Performed Air Relief Valve exercising.
 - d. Annual testing of all backflow devices has been completed in accordance with OID's Cross Connection Control Policy.
 - e. Conducted inspections of all well head seals and continued to replace them as needed.
4. On-Call Activities:
 - There were zero on-call activities to report.
5. Knights Ferry Pumping Station:
 - a. The Knights Ferry Pumps are active and continued to provide water to the treatment plant.
6. Irrigation Pumping Stations:
 - Agricultural deep well pumps have been deactivated for winter.
 - Inspections continued on all drain pumps that have been left in service for the winter.

Finance Activities

1. As directed by Resolution No. 96-01 and pursuant to California Government Code Section 53065.5, the written statements of Disclosures of Reimbursement of

Amounts to employees and directors paid by the District during 2015 of at least \$100 for an individual charge for service or product received are available for public review at the office of the District's Chief Financial Officer, Kathy Cook

2. Preparing closing entries for 2016 year-end, in addition to routine accounting functions (AP, AR, PR, billings, account reconciliations, etc.)
3. Fedek and Brown LLP is scheduled to be on-site on the week of January 23, 2017 to begin pre-audit work on the 2016 audit. A Finance Committee meeting will be scheduled for a pre-audit discussion.
4. Routine accounting functions (AP, AR, PR, billing, reconciliations, etc.)
5. Preparation of PR 4th QTR reporting and W2s.
6. Preparation of 1099 reporting.

B. **COMMITTEE REPORTS**

There were no committee meetings.

C. **GENERAL COUNSEL'S REPORT**

General Counsel Fred A. Silva reported that he contacted Mr. Macko pursuant to Mr. Frobose's request to obtain a copy of the investigative report concerning the recall election. Mr. Silva was advised by Mr. Macko that he did not have and was not aware of any investigative report on the recall election.

C. **DIRECTORS' COMMENTS/SUGGESTIONS**

Director Altieri

Director Altieri commented that there was 22 inches of rain in the snowpack. Director Altieri also commented that there was a private citizen following the court hearing that morning who went behind closed doors with the General Manager and General Counsel Fred A. Silva. General Counsel Fred A. Silva stated that he was a potential witness and asked that the ruling be explained to him and wanted to know how soon the Judge would make his ruling.

Director Santos

Director Santos had no comments.

Director Doornenbal

Director Doornenbal had no comments.

Director Osmundson

Director Osmundson stated that the District has been selling water for fifteen (15) years. The District on average sells 10% and forfeits 22% of its water every year.

Director Webb

Director Webb had no comments.

At the hour of 7:17 p.m. the Meeting adjourned to Closed Session.

CLOSED SESSION
ITEM NO. 20

A. Government Code §54957.6 - Conference with Labor Negotiator

Agency Negotiator: General Manager

Represented Employee: OE3

B. Government Code §54956.9(d)(1) - Existing Litigation

Oakdale Irrigation District v. Linda Santos, Gail Altieri, et al.

Oakdale Groundwater Alliance; Frobose; Brichetto, et al. v. Oakdale

At the hour of 7:32 p.m. the Board returned to open session.

Coming out of Closed Session Director Webb stated that there was no reportable action.

OTHER ACTION
ITEM NO. 21

At the hour of 7:32 p.m. the meeting was adjourned. The next Regular Board Meeting of the **Oakdale Irrigation District Board of Directors** is scheduled for **Tuesday, February 7, 2017 at 9:00 a.m.** in the board room at 1205 East F Street, Oakdale, CA.

The next Joint Board Meeting of the **South San Joaquin and Oakdale Irrigation Districts** serving the **Tri-Dam Projects** and **Tri-Dam Authority** and other joint business matters is scheduled for **Thursday, January 19, 2017 at 9:00 a.m.** in the board room of the Oakdale Irrigation District, 1205 East F Street, Oakdale, CA

Steve Webb, President

Attest:

Steve Knell, P.E., Secretary

**OAKDALE IRRIGATION DISTRICT
RESOLUTION NO. 2017-07
REPLACEMENT OF RESOLUTION NO. 2016-49**

**FRINGE PARCELS WATER
ALLOCATION POLICY (AMENDED)**

WHEREAS, the Board of Directors of the Oakdale Irrigation District ("District") adopted a Fringe Parcels Water Allocation Policy for the enforcement of the water allocation to the fringe parcels on August 2, 2016.

WHEREAS, fringe parcels are properties in which only a portion of the total parcel acreage lies within the boundaries of OID's service area.

WHEREAS, the District desires to amend the Fringe Parcels Water Allocation Policy.

NOW, THEREFORE BE IT RESOLVED, that the Oakdale Irrigation District Board of Directors hereby adopts the Fringe Parcels Water Allocation Policy (Amended). This resolution will remain in effect until revocation by the Board of Directors of the Oakdale Irrigation District and replaces Resolution No. 2016-49.

Upon Motion of Director Webb, seconded by Director Osmundson, and duly submitted to the Board for its consideration, the above-titled Resolution was adopted this 18th day of January 2017, by the following vote:

| | |
|---------|---|
| Ayes: | Directors, Webb, Doornenbal, Osmundson, Santos, Altieri |
| Noes: | None |
| Absent: | None |

OAKDALE IRRIGATION DISTRICT

Steve Webb
President

Steve Knell, P.E.
General Manager/Secretary

**OAKDALE IRRIGATION DISTRICT
RESOLUTION NO. 2017-08**

**A RESOLUTION AUTHORIZING AND DIRECTING THE EXECUTION
OF A MEMORANDUM OF UNDERSTANDING FORMING THE
GROUNDWATER SUSTAINABILITY AGENCY FOR THE MODESTO SUB-BASIN**

WHEREAS, the California Legislature has adopted, and the Governor has signed into law, the Sustainable Groundwater Management Act of 2014 ("SGMA"), which authorizes local agencies to manage groundwater in a sustainable fashion; and

WHEREAS, the legislative intent of SGMA is to provide for sustainable management of groundwater basins, to enhance local management of groundwater, to establish minimum standards for sustainable groundwater management, and to provide local groundwater agencies with the authority and the technical and financial assistance necessary to sustainably manage groundwater; and

WHEREAS, SGMA requires that a GSA be formed for all basins designated by the Department of Water Resources as a high-priority basin, such as the Modesto Sub-basin (designated basin number 5-22.02 in the California Department of Water Resources' CASGEM groundwater basin system) ("Basin"), by June 30, 2017; and

WHEREAS, SGMA permits a combination of local agencies to form a groundwater sustainability agency ("GSA") through a Memorandum of Understanding ("MOU"); and

WHEREAS, the County of Stanislaus, the Oakdale Irrigation District, the City of Oakdale, the City of Riverbank, the City of Modesto, the City of Waterford, and the Modesto Irrigation District ("MOU Agencies") are all local agencies, as SGMA defines that term; and

WHEREAS, the MOU Agencies are committed to sustainable management of the Basin's groundwater resources as shown by, among other actions, the MOU Agencies' creation of the Stanislaus and Tuolumne Rivers Groundwater Basin Association ("STRGBA") in 1994, which was created to ensure coordinated and effective management of the Basin; and

WHEREAS, the MOU Agencies each exercise jurisdiction upon lands overlying the Basin and are all committed to the sustainable management of the Basin's groundwater resources; and

WHEREAS, the MOU Agencies have determined that the sustainable management of the Basin pursuant to SGMA may best be achieved through the cooperation of the MOU Agencies operating through an MOU; and

WHEREAS, notice of a hearing on the MOU Agencies' decision to form a GSA for the Basin ("Notice") has been published in the Oakdale Leader as provided by law; and

WHEREAS, on this day, the OAKDALE IRRIGATION DISTRICT ("OID") held a public hearing to consider whether it should enter into the Memorandum of Understanding Forming the Stanislaus and Tuolumne Rivers Groundwater Basin Association Groundwater Sustainability Agency ("GSA MOU") (attached hereto as Exhibit A) to form the Stanislaus and Tuolumne Rivers Groundwater Basin Association GSA ("STRGBA GSA") for the Basin; and

WHEREAS, it would be in the best interests of the MOU Agencies to form the GSA for the Basin, and to begin the process of preparing a groundwater sustainability plan ("Sustainability Plan"); and

WHEREAS, adoption of this resolution does not constitute a "project" under California Environmental Quality Act Guidelines Section 15378(b)(5), including organization and administrative activities of government, because there would be no direct or indirect physical change in the environment.

NOW, THEREFORE, BE IT RESOLVED by the Board of Directors of the Oakdale Irrigation District as follows:

1. All the recitals in this resolution are true and correct and the OID so finds, determines and represents.
2. The Secretary of the OID is hereby authorized and directed to attest the signature of the authorized signatory, and to affix and attest the seal of the OID, as may be required or appropriate in connection with the execution and delivery of the GSA MOU.
3. The OID hereby elects to enter into the GSA MOU with the MOU Agencies to form the GSA for the Basin.
4. Within thirty (30) days of the date of this resolution, the OID General Manager is directed to provide notice of OID's intent to enter into the GSA MOU with the MOU Agencies to form the GSA for the Basin ("Notice of GSA Election") to the California Department of Water Resources in the manner required by law.
5. One of the elements of the Notice of GSA Election is the boundaries of the area of the Basin or the portion of the Basin that the MOU Agencies intend to manage. Until further action of the MOU Agencies, the boundaries of the GSA shall be the boundaries of the portion of the Basin within the MOU Agencies' combined jurisdiction. A copy of a map of the management area is attached as Exhibit B.
6. This resolution shall take effect immediately upon passage and adoption.

Upon Motion of Director Santos, seconded by Director Altieri, and duly submitted to the Board for its consideration, the above-titled Resolution was adopted this 18th day of January, 2017.

OAKDALE IRRIGATION DISTRICT

Steve Webb
President

Steve Knell, P.E.
Secretary

BOARD AGENDA REPORT

Date: February 7, 2017
Item Number: 3
APN: N/A

SUBJECT: APPROVE OAKDALE IRRIGATION DISTRICT'S STATEMENT OF OBLIGATIONS

RECOMMENDED ACTION: Approve Statement of Obligations

TOP TEN OBLIGATIONS

| <u>Vendor</u> | <u>Purpose</u> | <u>Amount</u> |
|-----------------------------------|---|---------------|
| OID Improvement Districts | December 2016 Reimbursement | \$122,612.21 |
| Interstate Truck Center | Exhaust Repairs (4) & Turbo Assembly | 58,775.26 |
| CalPERS | Retirement Contribution 1/18 & 2/7 | 44,458.05 |
| Damrell, Nelson, Schrimp, Pallios | Attorney Fees | 39,618.42 |
| Advanced Control Solutions | 1-12", 2-16" & 2-18" Flow Meters | 37,829.96 |
| Fresno Valves & Castings, Inc. | 1-18", 4-24", 1-30" & 2-54" Slide Gates | 22,120.31 |
| Sutter Health Plus | February 2017 Health Insurance | 20,430.16 |
| Northern Steel, Inc. | Rebar Placement | 19,720.00 |
| Rubicon, Inc. | 24" Flume Meter, Drum Assembly | 14,302.58 |
| O'Laughlin & Paris LLP | Attorney Fees | 13,344.95 |

FISCAL IMPACT: \$564,293.54

ATTACHMENTS:

- Statement of Obligations – Accounts Payable

Board Motion:

Motion by: _____ **Second by:** _____

VOTE

Webb (Yes/No) Doornenbal (Yes/No) Osmundson (Yes/No) Altieri (Yes/No) Santos (Yes/No)

Action(s) to be taken:

OAKDALE IRRIGATION DISTRICT

**STATEMENT
OF
OBLIGATIONS**

February 7, 2017

Accounts Payable
Check Register - February 7, 2017



Oakdale Irrigation District
1205 East F Street
Oakdale, CA 95361

| Check No | Check Date | Vendor Name | Amount | Description |
|----------|------------|---|--------------|---|
| 20575 | 1/18/2017 | Allied Concrete Pumping, LLC | \$2,073.50 | Concrete Pumping Services |
| 20576 | 1/18/2017 | California Public Employees' Retirement System | \$22,110.68 | Retirement Contribution |
| 20577 | 1/18/2017 | California State Disbursement Unit | \$207.69 | Levy |
| 20578 | 1/18/2017 | California State Disbursement Unit | \$194.30 | Levy |
| 20579 | 1/18/2017 | Central Valley Software Solutions, LLC | \$4,300.00 | iOS Annual Reader Support, Storm Annual Support |
| 20580 | 1/18/2017 | Damrell, Nelson, Schrimp, Pallios, Pacher & Silva | \$14,924.59 | Attorney Fees |
| 20581 | 1/18/2017 | DaSilva Dairy Farms, LP | \$37.48 | Refund - APN: 20720032 |
| 20582 | 1/18/2017 | Franchise Tax Board | \$275.00 | VOID |
| 20583 | 1/18/2017 | Giuliani & Kull, Inc. | \$9,850.00 | WR #061, WR #062 |
| 20584 | 1/18/2017 | Hughson Farm Supply | \$36.57 | Air Guide Shroud |
| 20585 | 1/18/2017 | Independent Stationers, Inc. | \$636.06 | Office Supplies |
| 20586 | 1/18/2017 | Interstate Truck Center | \$56,086.53 | Exhaust Repairs - #23, #25, #26, #64 |
| 20587 | 1/18/2017 | Modesto Irrigation District | \$123.93 | Electricity |
| 20588 | 1/18/2017 | Network Builders IT, Inc. | \$1,005.80 | Rocket M5 Access Point, Antenna, Wireless Bridge |
| 20589 | 1/18/2017 | OID Improvement Districts | \$122,612.21 | December 2016 Reimbursement |
| 20590 | 1/18/2017 | O'Laughlin & Paris LLP | \$13,344.95 | Attorney Fees |
| 20591 | 1/18/2017 | P G & E | \$9,586.56 | Electricity |
| 20592 | 1/18/2017 | Purchase Power/Pitney Bowes | \$284.76 | Postage Meter Rental 1/16/17 - 4/15/17 |
| 20593 | 1/18/2017 | Rubicon, Inc. | \$1,268.04 | Wire Rope Drum Assembly, LCD Display |
| 20594 | 1/18/2017 | Stanislaus Business Alliance | \$721.50 | Workkeys Testing - October 2016 |
| 20595 | 1/18/2017 | Stanislaus County Sheriff's Department | \$100.00 | Levy |
| 20596 | 1/18/2017 | Sutter Health Plus | \$20,430.16 | February 2017 Health Insurance |
| 20597 | 1/18/2017 | Von Tersch, Neil E. & Sharon L | \$20.10 | Refund Check - APN: 010-052-006 |
| 20598 | 1/18/2017 | Vintage Faire Mall | \$4,057.90 | 4th Quarter Productivity Gift Cards & Fees |
| 20599 | 1/26/2017 | California State Disbursement Unit | \$207.69 | Levy |
| 20600 | 1/26/2017 | California State Disbursement Unit | \$194.30 | Levy |
| 20601 | 1/26/2017 | CoreLogic Solutions, LLC | \$261.00 | Real Quest - December |
| 20602 | 1/26/2017 | Department of Motor Vehicles | \$2,579.06 | Use Tax on VIN: 1HTMMAAL4C675685 |
| 20603 | 1/26/2017 | Franchise Tax Board | \$350.00 | Levy |
| 20604 | 1/26/2017 | Gilton Solid Waste Management, Inc. | \$315.15 | Refuse Charges - December |
| 20605 | 1/26/2017 | Hilmar Lumber, Inc. | \$4,006.46 | 18" & 24" Elbows |
| 20606 | 1/26/2017 | Principal Financial Group | \$764.63 | Life Insurance - February |
| 20607 | 1/26/2017 | Stanislaus County Sheriff's Department | \$100.00 | Levy |
| 20608 | 2/7/2017 | ABS Presort, Inc. | \$2,466.04 | Monthly GM Newsletter - January |
| 20609 | 2/7/2017 | Ace Hardware | \$32.96 | Hack Saw Blades, 16" Mitre Box, Nuts, Bolts, Fasteners |
| 20610 | 2/7/2017 | Advanced Control Solutions | \$37,829.96 | 1-12", 2-16" & 2-18" Flow Meters |
| 20611 | 2/7/2017 | Ahern Rentals, Inc. | \$3,079.36 | Boom Telescoping Rental |
| 20612 | 2/7/2017 | Airgas USA, LLC | \$158.17 | Acetylene, Oxygen, Argon |
| 20613 | 2/7/2017 | Allied Concrete Pumping, LLC | \$884.40 | Concrete Pumping Services |
| 20614 | 2/7/2017 | Allied Concrete and Supply Co., Inc. | \$944.90 | 6 Sack Blend |
| 20615 | 2/7/2017 | AT&T Mobility | \$51.97 | GPS Device |
| 20616 | 2/7/2017 | AT&T | \$81.06 | Phone Charges 1/25/17 - 2/24/17 |
| 20617 | 2/7/2017 | Ayres, Michael | \$413.82 | Health and Wellness Reimbursement Jan. - Dec. |
| 20618 | 2/7/2017 | Battery Systems | \$1,359.51 | Batteries |
| 20619 | 2/7/2017 | BG Agri Sales & Service | \$148.81 | Camlocks, Poly Ball Valves, Bell Reducers, Hex Bushings |

Accounts Payable
Check Register - February 7, 2017



Oakdale Irrigation District
1205 East F Street
Oakdale, CA 95361

| Check No | Check Date | Vendor Name | Amount | Description |
|----------|------------|---|-------------|---|
| 20620 | 2/7/2017 | BGVG Orchards LLC | \$362.50 | Refund - APN: 010-018-072 |
| 20621 | 2/7/2017 | Bissell-Vargas, Kristy | \$48.00 | Health and Wellness Reimbursement - January |
| 20622 | 2/7/2017 | Borba, A.J. | \$100.00 | Certification Renewal - Irrigation Designer |
| 20623 | 2/7/2017 | California Highway Patrol | \$10.00 | Police Report - 1/12/17 |
| 20624 | 2/7/2017 | California Public Employees' Retirement System | \$22,347.37 | Retirement Contribution |
| 20625 | 2/7/2017 | California Farm Water Coalition | \$2,500.00 | Power House Science Ctr., Ag Water Exhibit |
| 20626 | 2/7/2017 | C & C Portables, Inc. | \$928.13 | Portable Toilet Rental 12/18/16 - 1/14/17 |
| 20627 | 2/7/2017 | Central Valley Ag Grinding, Inc. | \$69.00 | Waste Disposal - December |
| 20628 | 2/7/2017 | Chicago Title Co. | \$59.21 | Refund - APNs: 062-012-039 & 010-050-031 |
| 20629 | 2/7/2017 | Coffee Break Service, Inc. | \$35.50 | Coffee Service |
| 20630 | 2/7/2017 | Comcast | \$530.27 | Analog Lines, T.V., Internet |
| 20631 | 2/7/2017 | Condor Earth Technologies, Inc. | \$9,354.76 | WR #002, WR #009, WR #011 |
| 20632 | 2/7/2017 | Damrell, Nelson, Schrimp, Pallios, Pacher & Silva | \$24,693.83 | Attorney Fees |
| 20633 | 2/7/2017 | Davids Engineering, Inc. | \$13,125.06 | WR #006, WR #007 |
| 20634 | 2/7/2017 | Dennis Wing Trucking | \$30,237.75 | Haul Dirt |
| 20635 | 2/7/2017 | Digi-Key Corporation | \$21.54 | SMA to N-Type Cable |
| 20636 | 2/7/2017 | Ellis Self Storage, Inc. | \$75.00 | Storage - February |
| 20637 | 2/7/2017 | Far West Laboratories, Inc. | \$450.00 | Bac-T Tests |
| 20638 | 2/7/2017 | Fastenal Company | \$1,418.09 | Metal Chalk Boxes, Rafter Squares, Steel Saw Blades |
| 20639 | 2/7/2017 | Fedak & Brown LLP | \$5,000.00 | 2016 Audit Services |
| 20640 | 2/7/2017 | Fresno Valves & Castings, Inc. | \$22,120.31 | 1-18", 4-24", 1-30" & 1-54" 101C Slide Gates |
| 20641 | 2/7/2017 | George Reed, Inc. | \$2,288.49 | Crushed Rock, Sand - Screened |
| 20642 | 2/7/2017 | George W. Lowry, Inc. | \$1,770.58 | Mobilube, Mobilgrease, Mobil Delvac |
| 20643 | 2/7/2017 | Grainger | \$68.35 | Replacement Windsock |
| 20644 | 2/7/2017 | Grating Pacific, Inc. | \$11,434.75 | Steel Grating |
| 20645 | 2/7/2017 | Haidlen Ford | \$708.39 | Plunger, Bushings, Tube, Seatbelt Kit, Belt |
| 20646 | 2/7/2017 | Herc Rentals Inc. | \$9,697.50 | Excavator Rental (4) |
| 20647 | 2/7/2017 | Hilmar Lumber, Inc. | \$135.12 | 18" Coupler |
| 20648 | 2/7/2017 | Hixco | \$308.41 | Master Locks |
| 20649 | 2/7/2017 | Holt of California, Inc. | \$318.47 | Air Filters, Oil Filters - D6K |
| 20650 | 2/7/2017 | Independent Stationers, Inc. | \$171.19 | Bookcase, Index Tabs |
| 20651 | 2/7/2017 | Interstate Truck Center | \$2,688.73 | Turbo Assembly, Core - #64 |
| 20652 | 2/7/2017 | JKP Ventures, LP | \$136.00 | Refund - APN: 006-088-008 |
| 20653 | 2/7/2017 | Jorgensen Company | \$3,733.18 | Cal Gas for Gas Detectorsm, GD Gas Alert Max XT |
| 20654 | 2/7/2017 | Mission Uniform Service | \$1,392.63 | Uniform Service |
| 20655 | 2/7/2017 | Modesto Steel | \$1,059.53 | 5/16" Angle, 3/8" Flat Bar |
| 20656 | 2/7/2017 | Moore Quality Galvanizing L.P. | \$1,434.48 | Plate Rails, Straps, Plates, Pipes |
| 20657 | 2/7/2017 | Mustangs Baseball Dugout Club | \$250.00 | Donation |
| 20658 | 2/7/2017 | NorCal Kenworth | \$1,197.32 | Control Valve, Control Cab, Work Lamp - #23, #24 |
| 20659 | 2/7/2017 | Northern Steel, Inc. | \$19,720.00 | Rebar Placement |
| 20660 | 2/7/2017 | Oakdale Auto Parts | \$586.44 | Split Loom Poly, Valve Extensions, Convertor Plugs |
| 20661 | 2/7/2017 | Oakdale Leader | \$816.22 | Employment Ad - Assistant Engineer |
| 20662 | 2/7/2017 | Office Depot | \$953.60 | Office Supplies |
| 20663 | 2/7/2017 | Operating Engineers Union Local No. 3 | \$2,638.00 | Union Dues - PPE 1/21/17 |
| 20664 | 2/7/2017 | P & L Concrete Products, Inc. | \$305.31 | 6 Sack |

Accounts Payable
Check Register - February 7, 2017



Oakdale Irrigation District
1205 East F Street
Oakdale, CA 95361

| Check No | Check Date | Vendor Name | Amount | Description |
|----------|------------|---|---------------------|--|
| 20665 | 2/7/2017 | Ray Morgan | \$373.96 | Copier Usage 12/24/16 - 1/23/17 |
| 20666 | 2/7/2017 | Redwood Health Services | \$387.50 | 125 Cafeteria Plan & Cobra - January & February 2017 |
| 20667 | 2/7/2017 | Resource Building Materials | \$142.73 | 6 Sack |
| 20668 | 2/7/2017 | Rubicon, Inc. | \$13,034.54 | 24" Flume Meter, Radio & Antenna Set |
| 20669 | 2/7/2017 | San Joaquin County Vector & Disease Control Dist. | \$26.55 | Mosquito Abatement 7/1/16 - 6/30/17 |
| 20670 | 2/7/2017 | Senix Corporation | \$2,989.50 | ToughSonic Remote Sensor |
| 20671 | 2/7/2017 | South San Joaquin Irrigation District | \$221.77 | Routine Joint Supply Maintenance - December |
| 20672 | 2/7/2017 | Thomson West | \$58.40 | 2017 California Vehicle Code |
| 20673 | 2/7/2017 | TP Express | \$150.00 | Portable Toilet Rental - February |
| 20674 | 2/7/2017 | Tractor Supply Co. | \$102.47 | Universal Ford Bed Mat - #184 |
| 20675 | 2/7/2017 | Tri-West Tractor Incorporated | \$1,418.23 | Idler - SK210, Belts, Switch, Handle Control - SK140 |
| 20676 | 2/7/2017 | Roberts, Douglas L. | \$79.90 | Refund Check - APN: 010-032-046 |
| 20677 | 2/7/2017 | Chicago Title Company | \$39.97 | Refund Check - APN: 010-050-011 |
| 20678 | 2/7/2017 | Visa | \$1,234.91 | 1094C & 1095C Filing for 2016, Defibrillator |
| 20679 | 2/7/2017 | Visa | \$289.74 | Water 101 Workshop - Registration |
| 20680 | 2/7/2017 | Visa | \$325.00 | 2017 CIIC Conference Registration |
| 20681 | 2/7/2017 | Waters, Brian | \$44.97 | Health and Wellness Reimbursement - January |
| 20682 | 2/7/2017 | Webb, Steven | \$185.22 | Health and Wellness Reimb. - Dec. & Jan., Mileage |
| 20683 | 2/7/2017 | W. H. Breshears, Inc. | \$4,751.29 | Fuel |
| 20684 | 2/7/2017 | White Cap Construction Supply | \$159.12 | Duffel Bags |
| 20685 | 2/7/2017 | Wille Electric Supply Co., Inc. | \$241.64 | Shielded Cable |
| 20686 | 2/7/2017 | Yosemite Farm Credit | \$219.56 | Refund - Board Agenda Deposit |
| | | | <u>\$564,293.54</u> | |

OAKDALE IRRIGATION DISTRICT
STATEMENT OF OBLIGATIONS
February 7, 2017

Void Check No: 20582

THE FOREGOING CLAIMS, NUMBERED 20575 Through 20686 INCLUSIVE
ARE APPLIED TO THE GENERAL FUND OF OAKDALE IRRIGATION DISTRICT
AND ARE OBLIGATIONS AUTHORIZED THERETO.

| | |
|-------|-------|
| _____ | _____ |
| _____ | _____ |
| _____ | |

BOARD AGENDA REPORT

Date: February 7, 2017
Item Number: 4
APN: N/A

SUBJECT: APPROVE THE MONTHLY TREASURER AND CHIEF FINANCIAL OFFICER'S REPORTS FOR THE MONTH ENDING DECEMBER 31, 2016

RECOMMENDED ACTION: Approve

BACKGROUND AND/OR HISTORY:

The District concluded 2016 having \$33.0 million in designated reserves and \$25.5 million in operating cash.

Actual revenues are at 103% of the budget; while actual expenditures (including capital projects and purchases) are at 70% of the budget. Additional information is provided within the attached reports.

Please note that the attached financial report does not reflect all of the year-end closing entries (i.e. adjusting entries, accrued revenues and expenses.)

FISCAL IMPACT: None

ATTACHMENTS:

- Treasurer's Report
 - Monthly Financial Reports (*unaudited*)
-

Board Motion:

Motion by: _____ **Second by:** _____

VOTE

Webb (Yes/No) Doornenbal (Yes/No) Osmundson (Yes/No) Altieri (Yes/No) Santos (Yes/No)

Action(s) to be taken:

OAKDALE IRRIGATION
DISTRICT'S

TREASURER'S
REPORT

FOR THE
PERIOD ENDING
DECEMBER 31, 2016

TREASURER'S REPORT TO THE BOARD OF DIRECTORS
OAKDALE IRRIGATION DISTRICT
STATEMENT OF FUNDS
FOR THE PERIOD ENDING DECEMBER 31, 2016

| PERIOD ENDING | 12/31/2016 | RATE | 11/30/2016 | NET CHANGE |
|---|------------------------|--------|------------------------|-----------------------|
| <u>OAKDALE IRRIGATION DISTRICT FUNDS</u> | | | | |
| LAIF | \$160,382.54 | 0.719% | \$160,382.54 | \$0.00 |
| OAK VALLEY COMMUNITY BANK CHECKING | 750,670.95 | | 659,232.42 | 91,438.53 |
| OVCB BUSINESS PLUS SAVINGS | 4,451,871.13 | 0.819% | 5,198,692.26 | (746,821.13) |
| UNION BANK OF CALIFORNIA | 53,177,433.21 | 0.710% | 53,143,268.74 | 34,164.47 |
| UNION BANK OF CALIFORNIA - COP RESERVE | 0.00 | | 577.44 | (577.44) |
| <i>TOTAL TREASURY FUNDS</i> | <u>58,540,357.83</u> | | <u>59,162,153.40</u> | <u>(621,795.57)</u> |
| <u>IMPROVEMENT DISTRICT FUNDS</u> | | | | |
| IMPROVEMENT DISTRICT'S FUNDS | 1,088,291.50 | | 1,142,729.49 | (54,437.99) |
| <i>TOTAL IMPROVEMENT DISTRICT FUNDS</i> | <u>1,088,291.50</u> | | <u>1,142,729.49</u> | <u>(54,437.99)</u> |
| <u><i>TOTAL TREASURY AND IMPROVEMENT DISTRICT FUNDS</i></u> | <u>\$59,628,649.33</u> | | <u>\$60,304,882.89</u> | <u>(\$676,233.56)</u> |

**OAKDALE IRRIGATION DISTRICT
FOR THE PERIOD ENDING
DECEMBER 31, 2016**

| DISTRICT CASH AND CASH EQUIVALENTS | | 12/31/2016 | 12/31/2015 | NET CHANGE |
|--|----------|-----------------|-----------------|-----------------|
| Beginning Balance: 12/01/2016 | | \$59,162,153.40 | | |
| Receipts / Earnings | | 1,475,961.64 | | |
| Expenditures | | (2,097,757.21) | | |
| TOTAL DISTRICT TREASURY FUNDS ON HAND: | 12/31/16 | \$58,540,357.83 | \$43,932,867.65 | \$14,607,490.18 |

GENERAL FUND

Beginning Balance: 12/01/2016 \$26,077,637.24

RECEIPTS / EARNINGS

| | | |
|----------------------|--------------|--------------|
| Secretary's Receipts | \$90,026.43 | |
| Interest Earnings | 37,343.34 | |
| Collection Receipts | 1,348,715.31 | |
| Total Receipts: | | 1,476,085.08 |

EXPENDITURES

| | | |
|--------------------------------|--------------|----------------|
| Accounts Payable | 1,522,739.89 | |
| Payroll | 574,563.32 | |
| Transfers to RWS Reserve Funds | 454.00 | |
| Total Expenditures: | | (2,097,757.21) |

| | | | | |
|------------------|------------|-----------------|----------------|-----------------|
| BALANCE ON HAND: | 12/31/2016 | \$25,455,965.11 | \$8,545,250.02 | \$16,910,715.09 |
|------------------|------------|-----------------|----------------|-----------------|

CAPITAL REPLACEMENT / IMPROVEMENT RESERVE - \$18,000,000 - limit

Beginning Balance: 12/01/2016 \$18,000,000.00

Receipts 0.00

Transfer to General Fund 0.00

| | | | | |
|------------------|------------|-----------------|-----------------|--------|
| BALANCE ON HAND: | 12/31/2016 | \$18,000,000.00 | \$18,000,000.00 | \$0.00 |
|------------------|------------|-----------------|-----------------|--------|

OPERATING RESERVE - \$6,000,000 max. limit

Beginning Balance: 12/01/2016 \$3,738,000.00

Receipts 0.00

Transfer to General Fund 0.00

| | | | | |
|------------------|------------|----------------|----------------|--------|
| BALANCE ON HAND: | 12/31/2016 | \$3,738,000.00 | \$3,738,000.00 | \$0.00 |
|------------------|------------|----------------|----------------|--------|

RATE STABILIZATION RESERVE - \$4,500,000 max. limit

Beginning Balance: 12/01/2016 \$1,388,000.00

Receipts 0.00

Transfer to General Fund 0.00

| | | | | |
|------------------|--|----------------|----------------|--------|
| BALANCE ON HAND: | | \$1,388,000.00 | \$1,388,000.00 | \$0.00 |
|------------------|--|----------------|----------------|--------|

VEHICLE AND EQUIPMENT REPLACEMENT RESERVE - \$1,500,000 max. limit

Beginning Balance: 12/01/2016 \$486,965.71

Transfer from General Fund 0.00

Transfer Funds to General Fund 0.00

| | | | | |
|------------------|------------|--------------|--------------|--------|
| BALANCE ON HAND: | 12/31/2016 | \$486,965.71 | \$486,965.71 | \$0.00 |
|------------------|------------|--------------|--------------|--------|

DISTRICT TREASURY FUNDS - *continued*

12/31/16

12/31/15

NET CHANGE

MAIN CANAL / TUNNEL IMPROVEMENT RESERVE

Beginning Balance: 12/01/2016

\$8,064,000.00

Transfer from General Fund

0.00

Transfer Funds to General Fund

0.00

BALANCE ON HAND: 12/31/2016

\$8,064,000.00

\$8,064,000.00

\$0.00

BUILDING AND FACILITIES REPLACEMENT RESERVE

Beginning Balance: 12/01/2016

\$475,000.00

Transfer from General Fund

0.00

Transfer to General Fund

0.00

BALANCE ON HAND: 12/31/2016

\$475,000.00

\$475,000.00

\$0.00

RURAL WATER SYSTEM REPLACEMENT / IMPROVEMENT RESERVE - \$1,000,000 max. limit

Beginning Balance: 12/01/2016

\$752,889.01

Transfer from General Fund

454.00

Transfer to General Fund

0.00

BALANCE ON HAND: 12/31/2016

\$753,343.01

\$747,194.16

\$6,148.85

EMPLOYEE COMPENSATED ABSENCES TRUST FUND

Beginning Balance: 12/01/2016

\$179,084.00

Transfer from General Fund

0.00

Transfer to General Fund

0.00

BALANCE ON HAND: 12/31/2016

\$179,084.00

\$179,084.00

\$0.00

CERTIFICATES OF PARTICIPATION BONDS - RESERVE FUND (RESTRICTED FUNDS)

Beginning Balance: 12/01/2016

\$577.44

Receipts

(577.44)

Expenditures

0.00

BALANCE ON HAND: 12/31/2016

\$0.00

\$2,149,257.97

(\$2,149,257.97)

CERTIFICATE OF DEPOSIT - FISHBIO (RESTRICTED FUNDS)

Beginning Balance: 12/01/2016

\$0.00

Receipts

0.00

Expenditures

0.00

BALANCE ON HAND: 12/31/2016

\$0.00

\$160,114.07

(\$160,114.07)

RESTRICTED FUNDS

12/31/16

12/31/15

NET CHANGE

IMPROVEMENT DISTRICT'S FUNDS

Beginning Balance: 12/01/2016

\$1,142,729.49

Receipts

8,197.32

Expenditures

(62,635.31)

BALANCE ON HAND: 12/31/2016

\$1,088,291.50

\$959,979.52

\$128,311.98



GLOBAL CUSTODY SERVICES
350 CALIFORNIA STREET, SUITE 2018
SAN FRANCISCO, CA 94104

----- manifest line -----

OAKDALE IRRIGATION DISTRICT
KATHY COOK
1205 EAST 'F' STREET
OAKDALE, CA 95361



Account Statement

Statement Period

December 1, 2016 through December 31, 2016

Account Name

OAKDALE IRRIGATION DISTRICT

Online Access

unionbank.com/trustandcustody

Contents

- Account Summary
- Principal Portfolio Summary
- Unrealized Gain/Loss Summary
- Cash Transactions Summary
- Asset Detail
- Maturity Summary
- Transaction Detail

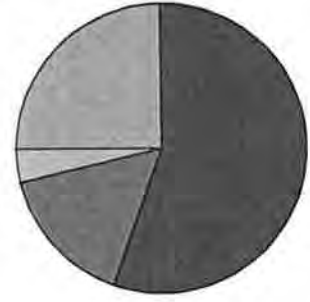
Overview of Total Account Value

| | |
|------------------------------|--------------------|
| Closing Value on 12/31/2015 | \$33,928,807.61 |
| Opening Value on 12/01/2016 | \$53,170,494.19 |
| Closing Value on 12/31/2016 | \$53,200,310.81 |
| Net Change For Period | \$29,816.62 |

Overview of Account by Investment Category

Your Current Portfolio Mix

| % of Total Account | Market Value | Description |
|--------------------|------------------------|----------------------------|
| 24.85% | 13,219,490.90 | Cash & Cash Equivalents |
| 55.59% | 29,572,708.35 | Government Obligations |
| 15.80% | 8,407,551.56 | Corporate Obligations |
| 3.76% | 2,000,560.00 | Non-US Securities |
| 100.00% | \$53,200,310.81 | Total Account Value |





Account Name
OAKDALE IRRIGATION DIST

Account Statement

Statement Period

December 1, 2016 through December 31, 2016

Principal Portfolio Summary

| Description | Market Value | Percentage of Portfolio | Current Yield |
|----------------------------------|------------------------|-------------------------|---------------|
| Cash & Cash Equivalents | 13,219,490.90 | 24.85% | 0.91% |
| Government Obligations | 29,572,708.35 | 55.59% | 0.42% |
| Corporate Obligations | 8,407,551.56 | 15.80% | 1.30% |
| Non-US Securities | 2,000,560.00 | 3.76% | 1.25% |
| Total Principal Portfolio | \$53,200,310.81 | 100.00% | 0.71% |

Unrealized Gain/Loss Summary

| Description | Cost Basis | Market Value | Gain/Loss |
|-------------------------|------------------------|------------------------|--------------------|
| Cash & Cash Equivalents | 13,185,364.42 | 13,219,490.90 | 34,126.48 |
| Government Obligations | 29,558,711.82 | 29,572,708.35 | 13,996.53 |
| Corporate Obligations | 8,431,816.97 | 8,407,551.56 | (24,265.41) |
| Non-US Securities | 2,001,540.00 | 2,000,560.00 | (980.00) |
| Total Gain/Loss | \$53,177,433.21 | \$53,200,310.81 | \$22,877.60 |

Cash Transactions Summary

| Receipts | Principal Cash |
|-------------------------------|--------------------------|
| Dividend | 58.00 |
| Interest | 34,106.47 |
| Sales | 15,487,596.38 |
| Maturities/Redemptions | 15,463,316.03 |
| Total Receipts | \$30,985,076.88 |
| Disbursements | |
| Purchases | (30,985,076.88) |
| Total Disbursements | (\$30,985,076.88) |
| Total Net Transactions | \$0.00 |



Account Name
OAKDALE IRRIGATION DIST

Account Statement

Statement Period

December 1, 2016 through December 31, 2016

Asset Detail - Principal Portfolio

Cash & Cash Equivalents

| Asset Name | CUSIP | Shares/ Units Held | Cost Basis | Market Value | Price/ Date Priced | Percentage of Portfolio | Current Yield | Estimated Annual Income |
|---|-----------|-----------------------|--------------|--------------|-----------------------|----------------------------|------------------|----------------------------|
| Money Market Funds | | | | | | | | |
| FIDELITY INSTL CASH PORTFOLIOS U S GOVT PORTFOLIO CL-I #57 ***CASH MANAGEMENT SWEEP*** 316175108 | 31617510S | 54,648.3500 | 54,648.35 | 54,648.35 | 1.0000 | 0.10% | 0.39% | 214.31 |
| Disc Comm'l Paper/Banker Accept | | | | | | | | |
| BANK OF NOVA SCOTIA DISC COM1 PAPER DTD 05/05/2016 01/30/2017 | 06417JNW8 | 1,800,000.0000 | 1,787,113.00 | 1,798,938.00 | 99.9410 12/30/2016 | 3.38% | 0.99% | 17,885.00 |
| TOYOTA MOTOR CREDIT CO DISC COM1 PAPER DTD 05/13/2016 02/07/2017 | 89233GP75 | 2,500,000.0000 | 2,483,581.39 | 2,497,950.00 | 99.9180 12/30/2016 | 4.71% | 1.00% | 24,992.36 |
| BANK OF NOVA SCOTIA DISC COM1 PAPER DTD 06/20/2016 03/17/2017 | 06417JQH8 | 700,000.0000 | 695,807.78 | 698,579.00 | 99.7970 12/30/2016 | 1.31% | 1.12% | 7,806.94 |
| PROV BRITISH COLUMBIA DISC COM1 PAPER DTD 12/08/2016 03/24/2017 | 11070JQQ6 | 1,500,000.0000 | 1,496,472.50 | 1,496,670.00 | 99.7780 12/30/2016 | 2.81% | 0.84% | 12,622.92 |
| APPLE INCORPORATED DISC COM1 PAPER DTD 11/21/2016 03/27/2017 | 03785DQT6 | 1,675,000.0000 | 1,670,603.13 | 1,671,130.75 | 99.7690 12/30/2016 | 3.14% | 0.76% | 12,736.96 |
| MICROSOFT CORPORATION DISC COM1 PAPER DTD 10/12/2016 03/28/2017 | 59515MQU2 | 1,250,000.0000 | 1,245,580.56 | 1,247,087.50 | 99.7670 12/30/2016 | 2.34% | 0.86% | 10,682.75 |





Account Statement

Account Name
OAKDALE IRRIGATION DIST

Statement Period

December 1, 2016 through December 31, 2016

Asset Detail - Principal Portfolio (continued)

Cash & Cash Equivalents

| Asset Name | CUSIP | Shares/ Units Held | Cost Basis | Market Value | Price/ Date Priced | Percentage of Portfolio | Current Yield | Estimated Annual Income |
|---|-----------|-----------------------|--------------|--------------|-----------------------|----------------------------|------------------|----------------------------|
| Disc Comm'l Paper/Banker Acpt | | | | | | | | |
| APPLE INCORPORATED DISC COM1 PAPER DTD 11/21/2016 03/31/2017 | 03785D0X7 | 650,000.0000 | 648,339.61 | 648,427.00 | 99.7580 12/30/2016 | 1.22% | 0.77% | 5,008.61 |
| CHEVRON CORP DISC COM1 PAPER DTD 05/05/2016 04/02/2017 | 16677JR32 | 950,000.0000 | 944,467.04 | 947,625.00 | 99.7500 12/30/2016 | 1.78% | 0.88% | 8,379.79 |
| MICROSOFT CORPORATION DISC COM1 PAPER DTD 10/07/2016 04/04/2017 | 59515MR49 | 820,000.0000 | 817,134.56 | 817,736.80 | 99.7240 12/30/2016 | 1.54% | 0.86% | 7,066.79 |
| THE COCA COLA COMPANY DISC COM1 PAPER DTD 11/09/2016 07/10/2017 | 19121AUA7 | 1,350,000.0000 | 1,341,616.50 | 1,340,698.50 | 99.3110 12/30/2016 | 2.52% | 0.94% | 12,540.89 |

Total Cash & Cash Equivalents

\$13,185,364.42 \$13,219,490.90 24.85% 0.91% \$119,937.32

Government Obligations

| Asset Name | CUSIP | Shares/ Units Held | Cost Basis | Market Value | Price/ Date Priced | Percentage of Portfolio | Current Yield | Estimated Annual Income |
|--|-----------|-----------------------|--------------|--------------|-----------------------|----------------------------|------------------|----------------------------|
| US Govt Agency - Discount | | | | | | | | |
| FEDL HOME LOAN BK CONS DISC 0.0000% 1/4/2017 | 313385AD8 | 2,600,000.0000 | 2,597,765.44 | 2,599,974.00 | 99.9990 12/30/2016 | 4.89% | 0.34% | 8,962.80 |
| FEDL HOME LOAN BK CONS DISC 0.0000% 1/5/2017 | 313385AE6 | 600,000.0000 | 599,490.00 | 599,988.00 | 99.9980 12/30/2016 | 1.13% | 0.37% | 2,190.00 |
| FEDL HOME LOAN BK CONS DISC 0.0000% 1/11/2017 | 313385AL0 | 3,125,000.0000 | 3,123,078.13 | 3,124,750.00 | 99.9920 12/30/2016 | 5.87% | 0.42% | 12,990.42 |



Account Statement

Account Name
OAKDALE IRRIGATION DIST

Statement Period

December 1, 2016 through December 31, 2016

Asset Detail - Principal Portfolio (continued)

Government Obligations

| Asset Name | CUSIP | Shares/ Units Held | Cost Basis | Market Value | Price/ Date Priced | Percentage of Portfolio | Current Yield | Estimated Annual Income |
|--|-----------|-----------------------|-----------------|-----------------|-----------------------|----------------------------|------------------|----------------------------|
| US Govt Agency - Discount | | | | | | | | |
| FEDL HOME LOAN BK CONS DISC 0.0000% 1/12/2017 | 313385AM8 | 300,000.0000 | 299,708.67 | 299,973.00 | 99.9910 12/30/2016 | 0.56% | 0.39% | 1,155.82 |
| FEDL HOME LOAN BK CONS DISC 0.0000% 1/17/2017 | 313385AS5 | 800,000.0000 | 799,285.44 | 799,880.00 | 99.9850 12/30/2016 | 1.50% | 0.30% | 2,392.79 |
| FEDL HOME LOAN BK CONS DISC 0.0000% 1/23/2017 | 313385AY2 | 4,000,000.0000 | 3,997,911.11 | 3,999,160.00 | 99.9790 12/30/2016 | 7.52% | 0.41% | 16,222.23 |
| FEDL HOME LOAN BK CONS DISC 0.0000% 1/25/2017 | 313385BA3 | 7,480,000.0000 | 7,475,126.54 | 7,478,279.60 | 99.9770 12/30/2016 | 14.07% | 0.42% | 31,386.72 |
| FEDL HOME LOAN BK CONS DISC 0.0000% 1/27/2017 | 313385BC9 | 5,925,000.0000 | 5,920,159.69 | 5,923,518.75 | 99.9750 12/30/2016 | 11.13% | 0.39% | 23,137.38 |
| FEDL HOME LOAN BK CONS DISC 0.0000% 2/10/2017 | 313385BS4 | 500,000.0000 | 499,624.58 | 499,735.00 | 99.9470 12/30/2016 | 0.94% | 0.54% | 2,686.83 |
| FEDL HOME LOAN BK CONS DISC 0.0000% 2/15/2017 | 313385BX3 | 4,250,000.0000 | 4,246,562.22 | 4,247,450.00 | 99.9400 12/30/2016 | 7.98% | 0.53% | 22,406.96 |
| Total Government Obligations | | | \$29,558,711.82 | \$29,572,708.35 | | 55.59% | 0.42% | \$123,531.95 |

Corporate Obligations

| Asset Name | CUSIP | Shares/ Units Held | Cost Basis | Market Value | Price/ Date Priced | Percentage of Portfolio | Current Yield | Estimated Annual Income |
|---|-----------|-----------------------|--------------|--------------|------------------------|----------------------------|------------------|----------------------------|
| Corporate Bonds | | | | | | | | |
| WELLS FARGO & COMPANY SR NOTES DTD 05/07/2012 2.10% 05/08/2017 | 949748FD7 | 1,100,000.0000 | 1,109,922.00 | 1,103,113.00 | 100.2830 12/30/2016 | 2.07% | 2.09% | 23,100.00 |





Account Statement

Account Name
OAKDALE IRRIGATION DIST

Statement Period

December 1, 2016 through December 31, 2016

Asset Detail - Principal Portfolio (continued)

Corporate Obligations

| Asset Name | CUSIP | Shares/ Units Held | Cost Basis | Market Value | Price/ Date Priced | Percentage of Portfolio | Current Yield | Estimated Annual Income |
|---|-----------|-----------------------|-----------------------|-----------------------|------------------------|----------------------------|------------------|----------------------------|
| Corporate Bonds | | | | | | | | |
| BERKSHIRE HATHAWAYFIN CORP SR NT 1.600% 05/15/2017 | 084664BSS | 1,043,000.0000 | 1,052,032.38 | 1,044,950.41 | 100.1870 12/30/2016 | 1.96% | 1.60% | 16,688.00 |
| US BANCORP MTNS BK ENT CALL 1.650% 05/15/2017 | 91159HHD5 | 1,000,000.0000 | 1,007,040.00 | 1,001,430.00 | 100.1430 12/30/2016 | 1.88% | 1.65% | 16,500.00 |
| BANK OF NEW YORK MELLON CORP SR NT 1.969% 06/20/2017 | 064058AA8 | 500,000.0000 | 505,160.00 | 501,735.00 | 100.3470 12/30/2016 | 0.94% | 1.96% | 9,845.00 |
| AMERICAN HONDA FINANCE DTD 07/15/2014 1.2% 07/14/2017 | 02665WAF8 | 654,000.0000 | 655,602.30 | 654,588.60 | 100.0900 12/30/2016 | 1.23% | 1.20% | 7,848.00 |
| DEERE JOHN CAP CORP MTNS BE FR DTD 09/04/2012 1.20% 10/10/2017 | 24422ERW1 | 1,551,000.0000 | 1,551,421.99 | 1,549,991.85 | 99.9350 12/30/2016 | 2.93% | 1.20% | 18,612.00 |
| CHEVRON CORP NOTE FLTNG/RT 11/15/17 | 166764AK6 | 1,055,000.0000 | 1,045,588.30 | 1,055,147.70 | 100.0140 12/30/2016 | 1.98% | 0.00% | 0.11 |
| IBM CORP NOTE 1.125% 02/06/2018 | 459200HZ7 | 1,500,000.0000 | 1,505,070.00 | 1,496,595.00 | 99.7730 12/30/2016 | 2.81% | 1.13% | 16,875.00 |
| Total Corporate Obligations | | | \$8,431,816.97 | \$8,407,551.56 | | 15.80% | 1.30% | \$109,468.11 |



Account Statement

Account Name
OAKDALE IRRIGATION DIST

Statement Period

December 1, 2016 through December 31, 2016

Asset Detail - Principal Portfolio (continued)

Non-US Securities

| Asset Name | CUSIP | Shares/ Units Held | Cost Basis | Market Value | Price/ Date Priced | Percentage of Portfolio | Current Yield | Estimated Annual Income |
|----------------------------------|-----------|-----------------------|------------------------|------------------------|------------------------|----------------------------|------------------|----------------------------|
| Non - US Corporate Bonds | | | | | | | | |
| ROYAL BK CDA 1.2500% 6/16/2017 | 78010UD20 | 2,000,000.0000 | 2,001,540.00 | 2,000,560.00 | 100.0280 12/30/2016 | 3.76% | 1.25% | 25,000.00 |
| Total Non-US Securities | | | \$2,001,540.00 | \$2,000,560.00 | | 3.76% | 1.25% | \$25,000.00 |
| Total Principal Portfolio | | | \$53,177,433.21 | \$53,200,310.81 | | 100.00% | 0.71% | \$377,937.38 |
| Total Account Values | | | \$53,177,433.21 | \$53,200,310.81 | | 100.00% | 0.71% | \$377,937.38 |

Maturity Summary

| | Face Value | Par Value | Cost Basis | Market Value | Percentage of Market Value |
|---------------------------|---------------|------------------------|------------------------|------------------------|----------------------------|
| 2016 | | | | | |
| 2017 | | 51,678,000.0000 | 51,617,714.86 | 51,649,067.46 | 97.18% |
| 2018 | | 1,500,000.0000 | 1,505,070.00 | 1,496,595.00 | 2.82% |
| 2019 | | | | | |
| 2020 | | | | | |
| 2021 | | | | | |
| 2022 | | | | | |
| 2023 | | | | | |
| 2024 | | | | | |
| 2025 | | | | | |
| Ten-to-Fourteen Years | | | | | |
| Fifteen-to-Nineteen Years | | | | | |
| Twenty Years and Over | | | | | |
| Total | \$0.00 | 53,178,000.0000 | \$53,122,784.86 | \$53,145,662.46 | 100.00% |





Account Name
OAKDALE IRRIGATION DIST

Account Statement

Statement Period

December 1, 2016 through December 31, 2016

Transaction Detail

| Date | Activity | Description | CUSIP | Principal Cash | Cost Basis |
|-------------------|------------------------|--|-----------|----------------|-----------------|
| Beginning Balance | | | | \$0.00 | \$53,143,268.74 |
| 12/01/16 | Purchases | PURCHASED 58 UNITS OF FIDELITY GOVT MMKT INST CL-I #57 TRADE DATE 12/01/16 | 31617510S | (58.00) | 58.00 |
| 12/01/16 | Dividend | CASH RECEIPT OF DIVIDEND EARNED ON FIDELITY GOVT MMKT INST CL-I #57 DIVIDEND FROM 11/1/16 TO 11/30/16 | 31617510S | 58.00 | |
| 12/07/16 | Sales | SOLD 8,020,719.72 UNITS OF FIDELITY GOVT MMKT INST CL-I #57 TRADE DATE 12/07/16 | 31617510S | 8,020,719.72 | (8,020,719.72) |
| 12/07/16 | Maturities/Redemptions | MATURED 8,025,000 PAR VALUE OF FHLB DISC NT 0.00% 12/07/16 TRADE DATE 12/07/16 8,025,000 PAR VALUE AT 100 % | 313384S42 | 8,019,255.63 | (8,019,255.63) |
| 12/07/16 | Interest | CASH RECEIPT OF INTEREST EARNED ON FHLB DISC NT 0.00% 12/07/16 0/\$1 PV ON 8,025,000 PAR VALUE DUE 12/7/2016 8,025,000 PAR VALUE AT 100 % | 313384S42 | 5,744.37 | |
| 12/07/16 | Purchases | PURCHASED 8,025,000 UNITS OF FIDELITY GOVT MMKT INST CL-I #57 TRADE DATE 12/07/16 | 31617510S | (8,025,000.00) | 8,025,000.00 |
| 12/07/16 | Purchases | PURCHASED 4,025,000 PAR VALUE OF FHLB DISC 1/25/17 TRADE DATE 12/07/16 PURCHASED THROUGH MORGAN STANLEY 4,025,000 PAR VALUE AT 99.9455553 % | 313385BA3 | (4,022,808.61) | 4,022,808.61 |



Account Statement

Account Name
OAKDALE IRRIGATION DIST

Statement Period

December 1, 2016 through December 31, 2016

Transaction Detail (continued)

| Date | Activity Description | CUSIP | Principal Cash | Cost Basis |
|----------|--|-----------|----------------|----------------|
| 12/07/16 | Purchases FHLBC DISC 1/23/17 TRADE DATE 12/07/16 PURCHASED THROUGH MERRILL LYNCH FIXED INCOME 4,000,000 PAR VALUE AT 99.94777775 % | 313385AY2 | (3,997,911.11) | 3,997,911.11 |
| 12/08/16 | Sales SOLD 1,224,217.36 UNITS OF FIDELITY GOVT MMKT INST CL-I #57 TRADE DATE 12/08/16 | 31617510S | 1,224,217.36 | (1,224,217.36) |
| 12/08/16 | Maturities/Redemptions MATURED 1,200,000 PAR VALUE OF FHLBC DISC 12/08/16 TRADE DATE 12/08/16 1,200,000 PAR VALUE AT 100 % | 313384S59 | 1,198,572.00 | (1,198,572.00) |
| 12/08/16 | Interest CASH RECEIPT OF INTEREST EARNED ON FHLBC DISC 12/08/16 0/\$1 PV ON 1,200,000 PAR VALUE DUE 12/8/2016 1,200,000 PAR VALUE AT 100 % | 313384S59 | 1,428.00 | |
| 12/08/16 | Purchases PURCHASED 1,200,000 UNITS OF FIDELITY GOVT MMKT INST CL-I #57 TRADE DATE 12/08/16 | 31617510S | (1,200,000.00) | 1,200,000.00 |
| 12/08/16 | Purchases PURCHASED 1,225,000 PAR VALUE OF FHLB DISC NTS 1/27/17 TRADE DATE 12/08/16 PURCHASED THROUGH SALOMON BROS. 1,225,000 PAR VALUE AT 99.93611102 % | 313385BC9 | (1,224,217.36) | 1,224,217.36 |
| 12/12/16 | Sales SOLD 1,496,472.5 UNITS OF FIDELITY GOVT MMKT INST CL-I #57 TRADE DATE 12/12/16 | 31617510S | 1,496,472.50 | (1,496,472.50) |
| 12/12/16 | Maturities/Redemptions MATURED 1,500,000 PAR VALUE OF PRUDENTIAL FINCL DC/P 12/12/16 TRADE DATE 12/12/16 1,500,000 PAR VALUE AT 100 % | 7443M2MC7 | 1,495,646.25 | (1,495,646.25) |





Account Statement

Account Name
OAKDALE IRRIGATION DIST

Statement Period

December 1, 2016 through December 31, 2016

Transaction Detail (continued)

| Date | Activity Description | CUSIP | Principal Cash | Cost Basis |
|----------|---|-----------|----------------|----------------|
| 12/12/16 | Interest CASH RECEIPT OF INTEREST EARNED ON PRUDENTIAL FINCL DC/P 12/12/16 0/\$1 PV ON 1,500,000 PAR VALUE DUE 12/12/2016 1,500,000 PAR VALUE AT 100 % | 7443M2MC7 | 4,353.75 | |
| 12/12/16 | Purchases PURCHASED 1,500,000 UNITS OF FIDELITY GOVT MMKT INST CL-I #57 TRADE DATE 12/12/16 | 31617510S | (1,500,000.00) | 1,500,000.00 |
| 12/12/16 | Purchases PURCHASED 1,500,000 PAR VALUE OF PROV BRITISH COLUMBIA DC/P 3/24/17 TRADE DATE 12/12/16 PURCHASED THROUGH BARCLAYS CAPITAL INC. FIXED IN 1,500,000 PAR VALUE AT 99.76483333 % | 11070JQ06 | (1,496,472.50) | 1,496,472.50 |
| 12/19/16 | Purchases PURCHASED 12,500 UNITS OF FIDELITY GOVT MMKT INST CL-I #57 TRADE DATE 12/19/16 | 31617510S | (12,500.00) | 12,500.00 |
| 12/19/16 | Interest CASH RECEIPT OF INTEREST EARNED ON ROYAL BK OF CDA BD 1.250% 6/16/17 0.00625/\$1 PV ON 2,000,000 PAR VALUE DUE 12/16/201 | 78010UD20 | 12,500.00 | |
| 12/20/16 | Interest CASH RECEIPT OF INTEREST EARNED ON BK OF NY SR NT 1.969% 6/20/17 0.009845/\$1 PV ON 500,000 PAR VALUE DUE 12/20/2016 | 064058AA8 | 4,922.50 | |
| 12/20/16 | Purchases PURCHASED 4,922.5 UNITS OF FIDELITY GOVT MMKT INST CL-I #57 TRADE DATE 12/20/16 | 31617510S | (4,922.50) | 4,922.50 |
| 12/21/16 | Sales SOLD 4,746,186.8 UNITS OF FIDELITY GOVT MMKT INST CL-I #57 TRADE DATE 12/21/16 | 31617510S | 4,746,186.80 | (4,746,186.80) |



Account Statement

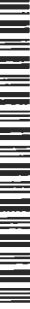
Account Name
OAKDALE IRRIGATION DIST

Statement Period

December 1, 2016 through December 31, 2016

Transaction Detail (continued)

| Date | Activity | Description | CUSIP | Principal Cash | Cost Basis |
|-----------------------|------------------------|--|-----------|----------------|------------------------|
| 12/21/16 | Maturities/Redemptions | MATURED 4,755,000 PAR VALUE OF FHLBC DISC 12/21/16 | 313384U23 | 4,749,842.15 | (4,749,842.15) |
| | | TRADE DATE 12/21/16 | | | |
| | | 4,755,000 PAR VALUE AT 100 % | | | |
| 12/21/16 | Interest | CASH RECEIPT OF INTEREST EARNED ON FHLBC DISC 12/21/16 | 313384U23 | 5,157.85 | |
| | | 0/\$1 PV ON 4,755,000 PAR VALUE DUE 12/21/2016 | | | |
| | | 4,755,000 PAR VALUE AT 100 % | | | |
| 12/21/16 | Purchases | PURCHASED 4,755,000 UNITS OF FIDELITY GOVT MMKT INST CL-I #57 | 31617510S | (4,755,000.00) | 4,755,000.00 |
| | | TRADE DATE 12/21/16 | | | |
| 12/21/16 | Purchases | PURCHASED 500,000 PAR VALUE OF FHLB DISC NTS 2/10/17 | 313385BS4 | (499,624.58) | 499,624.58 |
| | | TRADE DATE 12/21/16 | | | |
| | | PURCHASED THROUGH DEUTSCHE BANK ALEX BROWN INC | | | |
| | | 500,000 PAR VALUE AT 99.924916 % | | | |
| 12/21/16 | Purchases | PURCHASED 4,250,000 PAR VALUE OF FHLB DISC NTS 2/15/17 | 313385BX3 | (4,246,562.22) | 4,246,562.22 |
| | | TRADE DATE 12/21/16 | | | |
| | | PURCHASED THROUGH DEUTSCHE BANK ALEX BROWN INC | | | |
| | | 4,250,000 PAR VALUE AT 99.91911106 % | | | |
| Net Activity | | | | \$0.00 | \$34,164.47 |
| Ending Balance | | | | \$0.00 | \$53,177,433.21 |



OAKDALE IRRIGATION DISTRICT



MONTHLY FINANCIAL STATEMENTS

December 31, 2016

OAKDALE IRRIGATION DISTRICT
December 31, 2016



TABLE OF CONTENTS

| | <u>PAGE NO.</u> |
|---|-----------------|
| STATEMENT OF NET POSITION | 1 |
| REVENUES, EXPENSES, AND CHANGES IN NET ASSETS | 2 |
| REVENUE DETAIL | 3 |
| OPERATING EXPENSES SUMMARY | 4 |
| CAPITAL AND DEBT EXPENDITURES | 5 - 6 |
| OPERATING EXPENSES DETAIL | 7 - 24 |

OAKDALE IRRIGATION DISTRICT

STATEMENT OF NET POSITION



| | At December 31 | | |
|--|-----------------------|-----------------------|----------------------|
| | 2016 | 2015 | Variance |
| ASSETS | | | |
| Current assets: | | | |
| Cash and cash equivalents | \$ 5,371,172 | \$ 7,687,367 | \$ (2,316,195) |
| Investments | 53,177,433 | 33,995,422 | 19,182,011 |
| Receivables | | | |
| Annexation fees | 769,130 | 746,728 | 22,402 |
| Agricultural water fees | 900,996 | 1,224,833 | (323,837) |
| Due from other governmental agencies | 2,059,707 | 416 | 2,059,291 |
| Miscellaneous | 154,720 | 123,201 | 31,519 |
| Domestic water fees | 6,777 | 6,773 | 4 |
| Inventory of materials and supplies | 773,648 | 851,732 | (78,084) |
| Prepaid expenses | 418,299 | 1,182,649 | (764,350) |
| Due from Improvement Districts | 68,061 | (14,405) | 82,466 |
| Total current assets | 63,699,943 | 45,804,716 | 17,895,227 |
| Noncurrent assets: | | | |
| Accounts receivable - delinquencies | 2,875 | 14,352 | (11,477) |
| Due from other governmental agencies-Prop 1A | 101,475 | 101,637 | (162) |
| Restricted cash and cash equivalents | - | 2,309,374 | (2,309,374) |
| Restricted Improvement Districts' cash and cash equivalents | 1,080,328 | 959,980 | 120,348 |
| Annexation fees receivable | 14,734,124 | 15,503,254 | (769,130) |
| Investments in Tri-Dam Project | 38,074,439 | 41,968,763 | (3,894,324) |
| Capital assets: | | | |
| Not being depreciated | 2,851,729 | 2,751,847 | 99,882 |
| Being depreciated, net | 77,544,667 | 76,651,107 | 893,560 |
| Total noncurrent assets | 134,389,637 | 140,260,314 | (5,870,677) |
| Total assets | 198,089,580 | 186,065,030 | 12,024,550 |
| Deferred outflows of resources | | | |
| Pensions | 573,848 | 283,781 | 290,067 |
| Total deferred outflows of resources | 573,848 | 283,781 | 290,067 |
| TOTAL ASSETS AND DEFERRED OUTFLOWS OF RESOURCES | 198,663,428 | 186,348,811 | 12,314,617 |
| LIABILITIES | | | |
| Current liabilities: | | | |
| Payable from nonrestricted assets | | | |
| Accounts payable | 1,299,759 | 222,725 | 1,077,034 |
| Accrued salaries, wages and related benefits | 982,243 | 916,484 | 65,759 |
| Unearned revenue | 1,901,596 | 1,913,499 | (11,903) |
| Deposits payable | 838,613 | 941,144 | (102,531) |
| Claims payable | 3,750 | 34,100 | (30,350) |
| Improvement Districts' deposits payable from restricted assets | 1,088,393 | 959,980 | 128,413 |
| Long-term liabilities, due within one-year | - | 27,336 | (27,336) |
| Total current liabilities | 6,114,354 | 5,015,268 | 1,099,086 |
| Noncurrent liabilities: | | | |
| Long-term liabilities, due in more than one-year | 25,526,609 | 27,678,687 | (2,152,078) |
| Pensions | 2,297,665 | 2,692,472 | (394,807) |
| Total noncurrent liabilities | 27,824,274 | 30,371,159 | (2,546,885) |
| TOTAL LIABILITIES | 33,938,628 | 35,386,427 | (1,447,799) |
| DEFERRED INFLOWS OF RESOURCES | | | |
| Pensions | 948,385 | 1,021,999 | (73,614) |
| Total deferred inflows of resources | 948,385 | 1,021,999 | (73,614) |
| Net Position | | | |
| Net investment in capital assets | 51,589,942 | 50,245,465 | 1,344,477 |
| Restricted for debt service | - | 2,149,347 | (2,149,347) |
| Restricted for remediation projects | - | 158,957 | (158,957) |
| Unrestricted | 112,186,473 | 97,386,616 | 14,799,857 |
| TOTAL NET POSITION | \$ 163,776,415 | \$ 149,940,385 | \$ 13,836,030 |

OAKDALE IRRIGATION DISTRICT
STATEMENT OF REVENUES, EXPENSES, AND CHANGES IN NET POSITION
For the Month Ended December 31, 2016



| | Current Month | YTD Actual | 2016 Budget | % of 2016 Budget Remaining |
|--|---------------------|----------------------|----------------------|----------------------------------|
| Operating revenues: | | | | |
| Agricultural water service fees | \$ 1,398 | \$ 3,157,237 | \$ 3,391,400 | 7% |
| Annexation Fees | - | - | 1,922,000 | 100% |
| Domestic water delivery fee | 11,217 | 201,225 | 209,000 | 4% |
| Water sales | 2,000,000 | 15,791,330 | 9,250,000 | -71% |
| Improvement District Fees | 1,087 | 60,368 | 65,000 | 7% |
| Other water related revenues | 4,156 | 103,678 | 84,200 | -23% |
| Total operating revenues | 2,017,858 | 19,313,838 | 14,921,600 | -29% |
| Operating expenses: | | | | |
| Operation and maintenance | 285,077 | 4,563,311 | 5,932,500 | 23% |
| Water operations | 75,210 | 3,046,681 | 2,999,600 | -2% |
| General and administrative | 438,152 | 2,373,664 | 2,631,300 | 10% |
| Depreciation / amortization | 200,059 | 2,434,040 | 2,512,600 | 3% |
| Total operating expenses | 998,498 | 12,417,696 | 14,076,000 | 12% |
| Operating Income (loss) | 1,019,360 | 6,896,142 | 845,600 | -716% |
| Nonoperating revenues (expenses): | | | | |
| Interest earned | 37,349 | 735,821 | 690,200 | -7% |
| County property tax appropriations | 351 | 1,830,470 | 2,000,000 | 8% |
| Tri-Dam Power Authority distributions | - | - | 500,000 | 100% |
| Tri-Dam Project distributions | - | 7,959,088 | 10,900,000 | 27% |
| Debt service interest | - | (865,251) | (1,457,000) | 41% |
| Gain (loss) on sale of capital assets | (3,164) | (3,164) | - | na |
| Total non-operating revenues (expenses) | 34,536 | 9,656,964 | 12,633,200 | 24% |
| Net income (loss) before contributions | 1,053,896 | 16,553,106 | 13,478,800 | -23% |
| Capital contributions | - | 2,803 | - | 0% |
| Change in net position | \$ 1,053,896 | \$ 16,555,909 | \$ 13,478,800 | -23% |
| Capital expenditures & debt obligations | \$1,429,864 | \$3,287,167 | \$8,005,925 | |

OAKDALE IRRIGATION DISTRICT
REVENUES - DETAIL
For the Month Ended December 31, 2016



| | Current Month | YTD Actual | 2016 Budget | % of 2016 Budget Remaining |
|---------------------------------------|---------------------|----------------------|----------------------|----------------------------------|
| OPERATING REVENUES | | | | |
| Agricultural water service fees | | | | |
| Tier 1 | \$ 1,604 | \$ 1,706,809 | \$ 1,706,700 | 0% |
| Tier 2 | - | 221,422 | 221,400 | 0% |
| Water Sales | | | | |
| Tier 1 | (206) | 575,877 | 921,200 | 37% |
| Tier 2 | - | 653,129 | 542,100 | -20% |
| Local out-of-district | - | 41,330 | 500,000 | 92% |
| Out-of-district | 2,000,000 | 15,750,000 | 8,750,000 | -80% |
| Annexation fees | - | - | 1,922,000 | 100% |
| Domestic water sales | 11,217 | 201,225 | 209,000 | 4% |
| Improvement District fees | 1,087 | 60,368 | 65,000 | 7% |
| Miscellaneous revenues | | | | |
| Penalties | - | 24,289 | 17,500 | -39% |
| Transfer fees | 490 | 6,285 | 6,700 | 6% |
| Clavey house rental | 500 | 6,000 | 6,000 | 0% |
| Miscellaneous revenue | 3,166 | 67,104 | 54,000 | -24% |
| Total Operating Revenue | 2,017,858 | 19,313,838 | 14,921,600 | -29% |
| NONOPERATING REVENUES | | | | |
| County property tax appropriations | 351 | 1,830,470 | 2,000,000 | 8% |
| Investment earnings | | | | |
| Investment earnings | 37,344 | 254,803 | 210,000 | -21% |
| General interest (notes) | 5 | 481,018 | 480,200 | 0% |
| Gain (loss) sale of assets | (3,164) | (3,164) | - | 0% |
| Tri-Dam Project distributions | - | 7,959,088 | 10,900,000 | 27% |
| Tri-Dam Power Authority distributions | - | - | 500,000 | 100% |
| Total Nonoperating Revenues | 34,536 | 10,522,215 | 14,090,200 | 25% |
| Capital Contributions | - | 2,803 | - | 0% |
| TOTAL REVENUES | \$ 2,052,394 | \$ 29,838,856 | \$ 29,011,800 | -3% |

OAKDALE IRRIGATION DISTRICT
OPERATING EXPENSES SUMMARY
For the Month Ended December 31, 2016



| | Current Month | YTD Actual | 2016 Budget | % of 2016 Budget Remaining |
|---|-------------------|----------------------|----------------------|----------------------------------|
| OPERATING EXPENSES | | | | |
| MAINTENANCE | | | | |
| SSJID Main Supply Diversion Works | \$ 899 | \$ 34,335 | \$ 98,000 | 65% |
| North Main Canal Maintenance | 6,290 | 139,223 | 396,500 | 65% |
| South Main Canal Maintenance | 39,508 | 252,168 | 291,500 | 13% |
| Irrigation Water Lateral Maintenance - North Side | 81,262 | 1,510,727 | 2,130,200 | 29% |
| Irrigation Water Lateral Maintenance - South Side | 62,587 | 1,195,868 | 1,302,300 | 8% |
| Pumping Plant Operations and Maintenance | 5,870 | 420,688 | 705,100 | 40% |
| Drainage System Maintenance | 6,249 | 206,063 | 279,800 | 26% |
| Building and Grounds Maintenance | 34,911 | 317,664 | 207,900 | 0% |
| Vehicle and Equipment Maintenance | 47,501 | 486,575 | 521,200 | 7% |
| TOTAL MAINTENANCE | 285,077 | 4,563,311 | 5,932,500 | 23% |
| WATER OPERATIONS | | | | |
| Domestic Water System Maintenance | 26,589 | 208,977 | 278,400 | 25% |
| Irrigation Water Operations - North Division | 24,828 | 1,419,110 | 1,333,850 | -6% |
| Irrigation Water Operations - South Division | 21,656 | 1,349,346 | 1,311,850 | -3% |
| Drainage Water Operations | 1,265 | 29,944 | 11,500 | 0% |
| Water Measurement Management | 872 | 39,304 | 64,000 | 39% |
| TOTAL WATER OPERATIONS | 75,210 | 3,046,681 | 2,999,600 | -2% |
| GENERAL, ADMINISTRATION, AND DEPRECIATION | | | | |
| General and Administration | 438,152 | 2,373,664 | 2,631,300 | 10% |
| Depreciation and Amortization | 200,059 | 2,434,040 | 2,512,600 | 3% |
| TOTAL GENERAL, ADMINISTRATION, AND DEPR. | 638,211 | 4,807,704 | 5,143,900 | 7% |
| TOTAL OPERATING EXPENSES | 998,498 | 12,417,696 | 14,076,000 | 12% |
| NONOPERATING EXPENSES | | | | |
| Interest expense | - | 865,251 | 1,457,000 | 41% |
| TOTAL NONOPERATING EXPENSES | - | 865,251 | 1,457,000 | 41% |
| TOTAL OPERATING AND NONOPERATING EXPENSES | \$ 998,498 | \$ 13,282,947 | \$ 15,533,000 | 14% |

OAKDALE IRRIGATION DISTRICT
CAPITAL AND DEBT EXPENDITURES - As of December 31, 2016
2016 BUDGET



| GL ACCOUNT NO. | GL DESCRIPTION | PROJECT DESCRIPTION | 2016 YTD ACTUAL | 2016 BUDGET |
|--|--------------------------------------|---|------------------|------------------|
| Various | Capital Work | Capital construction projects as per WRP (baseline CIP) | \$1,452,679 | \$3,000,000 |
| | | Capital construction projects as per WRP (modernization) | 794,335 | 3,000,000 |
| 00-000-15150-00 | Ag Pumping Plants | Major repairs | - | 50,000 |
| 00-000-15183-00 | Miscellaneous Construction Equipment | Hammer/drill, 1 1/2" SDS (1) | 1,602 | 1,725 |
| | | Single slope grade laser (1) | 1,800 | 2,500 |
| | | Vibrator asphalt plate compactor (1) | 1,984 | 2,700 |
| | | Concrete chain saw - 14" (1) | 3,692 | 3,500 |
| | | Pipeline locator for rural water (1) | | 3,500 |
| | | 3-inch gasoline trash pump (3) | 4,147 | 6,000 |
| | | 66" compaction roller | 44,758 | 90,000 |
| | | 2 - Kobelco 55 excavator w/thumb attachment, digging & cleaning bucket, compaction wheel, blade | 122,354 | 132,000 |
| | | Kobelco 140 excavator w/thumb attachment, digging & cleaning bucket, compaction wheel, blade | 178,635 | 180,000 |
| | | Kobelco 210 excavator w/thumb attachment | 199,532 | 220,000 |
| | | Kobelco 210 excavator w/thumb attachment, digging & cleaning bucket, compaction wheel | 216,356 | 240,000 |
| | | RTV (refurbished stolen RTV) | 4,975 | - |
| | | Fire safe cabinet | 1,108 | - |
| 00-000-15184-00 | Autos/Pickups/Trucks/Trailers | 1/2-ton pickup for DSOs (2) | 50,616 | 70,000 |
| | | 2 - tilt bed equipment trailers | 29,929 | 24,000 |
| | | Class 6 flatbed utility truck | | 49,000 |
| | | Crew truck w/auto crane and custom bed | 35,329 | 65,000 |
| | | Diesel particulate filters for class-eight diesel trucks (5) | 90,297 | 110,000 |
| 00-000-15187-00 | Office and Engineering Equipment | Network Firewall | - | 2,500 |
| | | Commercial grade laser printer (1) | 1,572 | 4,500 |
| | | PC Replacements | 8,966 | 10,000 |
| | | Administration / Finance Color Copier | 15,165 | 22,000 |
| TOTAL CAPITAL PROJECTS AND PURCHASES EXPENDITURES | | | 3,259,831 | 7,288,925 |

OAKDALE IRRIGATION DISTRICT
CAPITAL AND DEBT EXPENDITURES - As of December 31, 2016
2016 BUDGET



| <u>GL ACCOUNT NO.</u> | <u>GL DESCRIPTION</u> | <u>PROJECT DESCRIPTION</u> | <u>2016 YTD ACTUAL</u> | <u>2016 BUDGET</u> |
|--|--------------------------------------|---|----------------------------|------------------------|
| 00-000-22320-00 | Current portion - COP Debt | Principal payment of Series 2009 COP | 0 | \$690,000 |
| 00-000-25204-00 | Current portion - Borrow Material | Final payment of Martin Borrow Materials Agreement | 27,336 | 27,000 |
| TOTAL DEBT EXPENDITURES | | | <u>27,336</u> | <u>717,000</u> |
| TOTAL CAPITAL AND DEBT EXPENDITURES | | | <u>\$3,287,167</u> | <u>\$8,005,925</u> |

OAKDALE IRRIGATION DISTRICT
OPERATING EXPENSES - DETAIL
For the Month Ended December 31, 2016



| ACCOUNT DESCRIPTION | ACCOUNT NO. | FUNCTION | 2016 YTD ACTUAL | TOTAL 2016 ANNUAL BUDGET |
|--|------------------|----------------|--------------------|--------------------------------|
| SSJID MAIN SUPPLY DIVERSION WORKS | | | | |
| | 295 - 52000 - 60 | Other | \$34,335 | \$98,000 |
| NORTH MAIN CANAL MAINTENANCE | | | | |
| Administration | 100 - 52400 - 10 | Labor | 6,505 | 12,800 |
| | 100 - 52400 - 20 | Overhead | 4,032 | 8,000 |
| | | Total | 10,537 | 20,800 |
| Bridge/Crossing Maintenance | 125 - 52400 - 10 | Labor | 0 | 1,300 |
| | 125 - 52400 - 20 | Overhead | 0 | 900 |
| | 125 - 52400 - 30 | Materials | 35 | 300 |
| | 125 - 52400 - 40 | Transportation | 0 | 500 |
| | 125 - 52400 - 60 | Other | 0 | 200 |
| | | Total | 35 | 3,200 |
| Concrete Canal Maintenance | 140 - 52400 - 10 | Labor | 4,737 | 1,600 |
| | 140 - 52400 - 20 | Overhead | 2,938 | 1,000 |
| | 140 - 52400 - 30 | Materials | 2,371 | 800 |
| | 140 - 52400 - 40 | Transportation | 4,072 | 200 |
| | 140 - 52400 - 60 | Other | 2,378 | 1,500 |
| | | Total | 16,496 | 5,100 |
| Dams and Reservoir Maintenance | 150 - 52400 - 10 | Labor | 0 | 700 |
| | 150 - 52400 - 20 | Overhead | 0 | 500 |
| | 150 - 52400 - 30 | Materials | 275 | 200 |
| | 150 - 52400 - 40 | Transportation | 0 | 200 |
| | 150 - 52400 - 60 | Other | 5,398 | 5,500 |
| | | Total | 5,673 | 7,100 |
| Earth Canal Maintenance | 165 - 52400 - 10 | Labor | 1,046 | 23,000 |
| | 165 - 52400 - 20 | Overhead | 649 | 14,300 |
| | 165 - 52400 - 30 | Materials | 3,117 | 5,200 |
| | 165 - 52400 - 40 | Transportation | 562 | 10,000 |
| | 165 - 52400 - 60 | Other | 8,968 | 139,800 |
| | | Total | 14,342 | 192,300 |
| Pest Control | 235 - 52400 - 10 | Labor | 1,990 | 7,100 |
| | 235 - 52400 - 20 | Overhead | 1,232 | 4,500 |
| | 235 - 52400 - 30 | Materials | 11,606 | 22,100 |
| | 235 - 52400 - 40 | Transportation | 2,178 | 3,000 |
| | | Total | 17,006 | 36,700 |

| ACCOUNT DESCRIPTION | ACCOUNT NO. | FUNCTION | 2016 YTD ACTUAL | TOTAL 2016 ANNUAL BUDGET |
|--|-------------|-------------------|--------------------|--------------------------------|
| NORTH MAIN CANAL MAINTENANCE - <i>continued</i> | | | | |
| Road Maintenance | 260 - 52400 | 10 Labor | 3,542 | 25,800 |
| | 260 - 52400 | 20 Overhead | 2,196 | 16,000 |
| | 260 - 52400 | 30 Materials | 1,079 | 2,300 |
| | 260 - 52400 | 40 Transportation | 1,589 | 14,700 |
| | 260 - 52400 | 60 Other | 18,914 | 8,000 |
| | | Total | 27,320 | 66,800 |
| | | | | |
| SCADA Maintenance | 270 - 52400 | 10 Labor | 14,974 | 18,900 |
| | 270 - 52400 | 20 Overhead | 9,281 | 11,800 |
| | 270 - 52400 | 30 Materials | 6,092 | 4,000 |
| | 270 - 52400 | 40 Transportation | 979 | 3,000 |
| | 270 - 52400 | 50 Utilities | 1,322 | 1,500 |
| | 270 - 52400 | 60 Other | 1,795 | 1,500 |
| | | Total | 34,443 | 40,700 |
| | | | | |
| Structures and Turnout Maintenance | 305 - 52400 | 10 Labor | 3,571 | 9,100 |
| | 305 - 52400 | 20 Overhead | 2,214 | 5,700 |
| | 305 - 52400 | 30 Materials | 3,416 | 4,800 |
| | 305 - 52400 | 40 Transportation | 2,129 | 1,200 |
| | 305 - 52400 | 60 Other | 2,041 | 3,000 |
| | | Total | 13,371 | 23,800 |
| | | | | |
| TOTAL NORTH MAIN CANAL MAINTENANCE | | | 139,223 | 396,500 |

| ACCOUNT DESCRIPTION | ACCOUNT NO. | FUNCTION | 2016 YTD ACTUAL | TOTAL 2016 ANNUAL BUDGET |
|-------------------------------------|------------------|----------------|--------------------|--------------------------------|
| SOUTH MAIN CANAL MAINTENANCE | | | | |
| Administration | 100 - 52600 - 10 | Labor | 11,272 | 8,600 |
| | 100 - 52600 - 20 | Overhead | 6,985 | 5,400 |
| | | Total | 18,257 | 14,000 |
| Bridge/Crossing Maintenance | 125 - 52600 - 10 | Labor | 0 | 2,000 |
| | 125 - 52600 - 20 | Overhead | 0 | 1,300 |
| | 125 - 52600 - 30 | Materials | 35 | 1,100 |
| | 125 - 52600 - 40 | Transportation | 0 | 500 |
| | 125 - 52600 - 60 | Other | 0 | 400 |
| | | Total | 35 | 5,300 |
| Concrete Canal Maintenance | 140 - 52600 - 10 | Labor | 2,355 | 6,100 |
| | 140 - 52600 - 20 | Overhead | 1,461 | 3,800 |
| | 140 - 52600 - 30 | Materials | 275 | 1,400 |
| | 140 - 52600 - 40 | Transportation | 1,480 | 2,600 |
| | 140 - 52600 - 60 | Other | 35,023 | 1,500 |
| | | Total | 40,594 | 15,400 |
| Dams and Reservoir Maintenance | 150 - 52600 - 10 | Labor | 0 | 4,600 |
| | 150 - 52600 - 20 | Overhead | 0 | 2,900 |
| | 150 - 52600 - 30 | Materials | 2,442 | 2,600 |
| | 150 - 52600 - 40 | Transportation | 0 | 400 |
| | | Total | 2,442 | 10,500 |
| Earth Canal Maintenance | 165 - 52600 - 10 | Labor | 12,481 | 5,900 |
| | 165 - 52600 - 20 | Overhead | 7,738 | 3,700 |
| | 165 - 52600 - 30 | Materials | 528 | 2,500 |
| | 165 - 52600 - 40 | Transportation | 13,003 | 1,400 |
| | 165 - 52600 - 60 | Other | 12,016 | 21,100 |
| | | Total | 45,766 | 34,600 |
| Pest Control | 235 - 52600 - 10 | Labor | 6,396 | 21,200 |
| | 235 - 52600 - 20 | Overhead | 3,965 | 13,200 |
| | 235 - 52600 - 30 | Materials | 60,032 | 68,800 |
| | 235 - 52600 - 40 | Transportation | 5,789 | 7,100 |
| | | Total | 76,182 | 110,300 |
| Road Maintenance | 260 - 52600 - 10 | Labor | 7,480 | 18,600 |
| | 260 - 52600 - 20 | Overhead | 4,638 | 11,600 |
| | 260 - 52600 - 30 | Materials | 868 | 4,700 |
| | 260 - 52600 - 40 | Transportation | 9,405 | 7,600 |
| | 260 - 52600 - 60 | Other | 5,179 | 7,700 |
| | | Total | 27,570 | 50,200 |

| ACCOUNT DESCRIPTION | ACCOUNT NO. | FUNCTION | 2016 YTD ACTUAL | TOTAL 2016 ANNUAL BUDGET |
|--|-------------|---------------------|--------------------|--------------------------------|
| SOUTH MAIN CANAL MAINTENANCE - <i>continued</i> | | | | |
| SCADA Maintenance | 270 - 52600 | - 10 Labor | 15,863 | 18,900 |
| | 270 - 52600 | - 20 Overhead | 9,834 | 11,800 |
| | 270 - 52600 | - 30 Materials | 5,313 | 4,000 |
| | 270 - 52600 | - 40 Transportation | 1,337 | 3,000 |
| | 270 - 52600 | - 60 Other | 1,119 | 1,500 |
| | | Total | 33,466 | 39,200 |
| Structures and Turnout Maintenance | 305 - 52600 | - 10 Labor | 2,099 | 4,300 |
| | 305 - 52600 | - 20 Overhead | 1,301 | 2,700 |
| | 305 - 52600 | - 30 Materials | 2,795 | 1,800 |
| | 305 - 52600 | - 40 Transportation | 902 | 1,000 |
| | 305 - 52600 | - 60 Other | 759 | 2,200 |
| | | Total | 7,856 | 12,000 |
| TOTAL SOUTH MAIN CANAL MAINTENANCE | | | 252,168 | 291,500 |

| ACCOUNT DESCRIPTION | ACCOUNT NO. | FUNCTION | 2016 YTD ACTUAL | TOTAL 2016 ANNUAL BUDGET |
|--|------------------|----------------|--------------------|--------------------------------|
| IRRIGATION WATER LATERAL MAINTENANCE - NORTH SIDE | | | | |
| Administration | 100 - 52700 - 10 | Labor | 113,209 | 115,000 |
| | 100 - 52700 - 20 | Overhead | 68,665 | 71,300 |
| | 100 - 52700 - 30 | Materials | 6,987 | 6,000 |
| | 100 - 52700 - 50 | Utilities | 1,827 | 1,600 |
| | 100 - 52700 - 60 | Other | 0 | 0 |
| | | Total | 190,688 | 193,900 |
| Bridge/Crossing Maintenance | 125 - 52700 - 10 | Labor | 0 | 5,900 |
| | 125 - 52700 - 20 | Overhead | 0 | 3,700 |
| | 125 - 52700 - 30 | Materials | 70 | 2,500 |
| | 125 - 52700 - 40 | Transportation | 0 | 1,400 |
| | 125 - 52700 - 60 | Other | 0 | 1,100 |
| | | Total | 70 | 14,600 |
| Concrete Canal Maintenance | 140 - 52700 - 10 | Labor | 9,236 | 10,000 |
| | 140 - 52700 - 20 | Overhead | 5,726 | 6,200 |
| | 140 - 52700 - 30 | Materials | 6,848 | 4,200 |
| | 140 - 52700 - 40 | Transportation | 4,749 | 2,400 |
| | 140 - 52700 - 60 | Other | 10,499 | 3,400 |
| | | Total | 37,058 | 26,200 |
| Earth Canal Maintenance | 165 - 52700 - 10 | Labor | 48,180 | 116,900 |
| | 165 - 52700 - 20 | Overhead | 29,874 | 72,500 |
| | 165 - 52700 - 30 | Materials | 30,176 | 37,800 |
| | 165 - 52700 - 40 | Transportation | 43,127 | 39,500 |
| | 165 - 52700 - 60 | Other | 169,025 | 192,700 |
| | | Total | 320,382 | 459,400 |
| Pest Control | 235 - 52700 - 10 | Labor | 24,359 | 42,800 |
| | 235 - 52700 - 20 | Overhead | 15,102 | 26,600 |
| | 235 - 52700 - 30 | Materials | 79,425 | 122,100 |
| | 235 - 52700 - 40 | Transportation | 22,645 | 31,000 |
| | 235 - 52700 - 60 | Other | 21 | 200 |
| | | Total | 141,552 | 222,700 |
| Pipeline Maintenance | 240 - 52700 - 10 | Labor | 75,876 | 97,300 |
| | 240 - 52700 - 20 | Overhead | 47,042 | 60,400 |
| | 240 - 52700 - 30 | Materials | 25,854 | 32,600 |
| | 240 - 52700 - 40 | Transportation | 39,278 | 31,700 |
| | 240 - 52700 - 60 | Other | 34,311 | 35,700 |
| | | Total | 222,361 | 257,700 |
| Road Maintenance | 260 - 52700 - 10 | Labor | 113,755 | 229,100 |
| | 260 - 52700 - 20 | Overhead | 70,529 | 142,100 |
| | 260 - 52700 - 30 | Materials | 26,204 | 38,200 |
| | 260 - 52700 - 40 | Transportation | 118,901 | 113,300 |
| | 260 - 52700 - 60 | Other | 93,857 | 123,500 |
| | | Total | 423,246 | 646,200 |

| ACCOUNT DESCRIPTION | ACCOUNT NO. | FUNCTION | 2016 YTD ACTUAL | TOTAL 2016 ANNUAL BUDGET |
|---|------------------|----------------|--------------------|--------------------------------|
| IRRIGATION WATER LATERAL MAINTENANCE - NORTH SIDE - <i>continued</i> | | | | |
| SCADA Maintenance | 270 - 52700 - 10 | Labor | 14,696 | 32,400 |
| | 270 - 52700 - 20 | Overhead | 9,111 | 20,100 |
| | 270 - 52700 - 30 | Materials | 5,618 | 7,000 |
| | 270 - 52700 - 40 | Transportation | 1,433 | 5,000 |
| | 270 - 52700 - 50 | Utilities | 548 | 1,500 |
| | 270 - 52700 - 60 | Other | 2,362 | 1,500 |
| | | Total | 33,768 | 67,500 |
| Structures and Turnout Maintenance | 305 - 52700 - 10 | Labor | 48,760 | 93,800 |
| | 305 - 52700 - 20 | Overhead | 30,231 | 58,200 |
| | 305 - 52700 - 30 | Materials | 25,593 | 38,000 |
| | 305 - 52700 - 40 | Transportation | 15,760 | 24,000 |
| | 305 - 52700 - 60 | Other | 21,258 | 28,000 |
| | | Total | 141,602 | 242,000 |
| TOTAL IRRIGATION WATER LATERAL MAINTENANCE - NORTH SIDE | | | 1,510,727 | 2,130,200 |

| ACCOUNT DESCRIPTION | ACCOUNT NO. | FUNCTION | 2016 YTD ACTUAL | TOTAL 2016 ANNUAL BUDGET |
|--|------------------|----------------|--------------------|--------------------------------|
| IRRIGATION WATER LATERAL MAINTENANCE - SOUTH SIDE | | | | |
| Administration | 100 - 52800 - 10 | Labor | 84,469 | 69,900 |
| | 100 - 52800 - 20 | Overhead | 50,663 | 43,400 |
| | 100 - 52800 - 30 | Materials | 6,954 | 6,100 |
| | 100 - 52800 - 40 | Transportation | 0 | 1,600 |
| | 100 - 52800 - 50 | Utilities | 1,827 | 300 |
| | 100 - 52800 - 60 | Other | 253 | 0 |
| | | Total | 144,166 | 121,300 |
| Bridge/Crossing Maintenance | 125 - 52800 - 10 | Labor | 2,931 | 700 |
| | 125 - 52800 - 20 | Overhead | 1,817 | 500 |
| | 125 - 52800 - 30 | Materials | 264 | 200 |
| | 125 - 52800 - 40 | Transportation | 1,326 | 200 |
| | 125 - 52800 - 60 | Other | 1,341 | 1,600 |
| | | Total | 7,679 | 3,200 |
| Concrete Canal Maintenance | 140 - 52800 - 10 | Labor | 450 | 4,600 |
| | 140 - 52800 - 20 | Overhead | 279 | 2,900 |
| | 140 - 52800 - 30 | Materials | 1,784 | 2,500 |
| | 140 - 52800 - 40 | Transportation | 152 | 500 |
| | 140 - 52800 - 60 | Other | 87 | 1,000 |
| | | Total | 2,752 | 11,500 |
| Earth Canal Maintenance | 165 - 52800 - 10 | Labor | 30,237 | 77,600 |
| | 165 - 52800 - 20 | Overhead | 18,624 | 48,200 |
| | 165 - 52800 - 30 | Materials | 26,723 | 27,300 |
| | 165 - 52800 - 40 | Transportation | 25,980 | 24,000 |
| | 165 - 52800 - 60 | Other | 118,706 | 78,700 |
| | | Total | 220,270 | 255,800 |
| Pest Control | 235 - 52800 - 10 | Labor | 22,121 | 32,200 |
| | 235 - 52800 - 20 | Overhead | 13,713 | 20,000 |
| | 235 - 52800 - 30 | Materials | 60,397 | 87,000 |
| | 235 - 52800 - 40 | Transportation | 25,887 | 28,100 |
| | 235 - 52800 - 60 | Other | 0 | 0 |
| | | Total | 122,118 | 167,300 |
| Pipeline Maintenance | 240 - 52800 - 10 | Labor | 85,899 | 92,400 |
| | 240 - 52800 - 20 | Overhead | 53,258 | 57,300 |
| | 240 - 52800 - 30 | Materials | 30,035 | 26,900 |
| | 240 - 52800 - 40 | Transportation | 44,676 | 34,200 |
| | 240 - 52800 - 60 | Other | 33,884 | 28,900 |
| | | Total | 247,752 | 239,700 |
| Road Maintenance | 260 - 52800 - 10 | Labor | 59,682 | 91,800 |
| | 260 - 52800 - 20 | Overhead | 37,003 | 57,000 |
| | 260 - 52800 - 30 | Materials | 21,970 | 19,900 |
| | 260 - 52800 - 40 | Transportation | 65,664 | 40,800 |
| | 260 - 52800 - 60 | Other | 77,656 | 49,300 |
| | | Total | 261,975 | 258,800 |

| ACCOUNT DESCRIPTION | ACCOUNT NO. | FUNCTION | 2016 YTD ACTUAL | TOTAL 2016 ANNUAL BUDGET |
|---|------------------|----------------|--------------------|--------------------------------|
| IRRIGATION WATER LATERAL MAINTENANCE - SOUTH SIDE - <i>continued</i> | | | | |
| SCADA Maintenance | 270 - 52800 - 10 | Labor | 21,161 | 32,400 |
| | 270 - 52800 - 20 | Overhead | 13,121 | 20,100 |
| | 270 - 52800 - 30 | Materials | 8,126 | 7,000 |
| | 270 - 52800 - 40 | Transportation | 1,451 | 5,000 |
| | 270 - 52800 - 50 | Utilities | 804 | 1,500 |
| | 270 - 52800 - 60 | Other | 1,911 | 1,500 |
| | | Total | 46,574 | 67,500 |
| Structures and Turnout Maintenance | 305 - 52800 - 10 | Labor | 50,222 | 69,200 |
| | 305 - 52800 - 20 | Overhead | 31,136 | 43,000 |
| | 305 - 52800 - 30 | Materials | 20,118 | 30,100 |
| | 305 - 52800 - 40 | Transportation | 18,989 | 15,600 |
| | 305 - 52800 - 60 | Other | 22,117 | 19,300 |
| | | Total | 142,582 | 177,200 |
| TOTAL IRRIGATION WATER LATERAL MAINTENANCE - SOUTH SIDE | | | 1,195,868 | 1,302,300 |

| ACCOUNT DESCRIPTION | ACCOUNT NO. | FUNCTION | 2016 YTD ACTUAL | TOTAL 2016 ANNUAL BUDGET |
|---|------------------|----------------|--------------------|--------------------------------|
| PUMPING PLANT OPERATIONS & MAINTENANCE | | | | |
| Administration | 100 - 53200 - 10 | Labor | 7,971 | 11,000 |
| | 100 - 53200 - 20 | Overhead | 4,942 | 6,900 |
| | 100 - 53200 - 30 | Materials | 473 | 1,500 |
| | 100 - 53200 - 40 | Transportation | 0 | 0 |
| | | Total | 13,386 | 19,400 |
| Booster Pumps | 120 - 53200 - 10 | Labor | 289 | 1,600 |
| | 120 - 53200 - 20 | Overhead | 181 | 1,000 |
| | 120 - 53200 - 30 | Materials | 275 | 1,000 |
| | 120 - 53200 - 40 | Transportation | 164 | 750 |
| | 120 - 53200 - 50 | Utilities | 9,149 | 9,000 |
| | 120 - 53200 - 60 | Other | 0 | 1,000 |
| | | Total | 10,058 | 14,350 |
| Deep & Shallow Wells | 155 - 53200 - 10 | Labor | 12,912 | 22,400 |
| | 155 - 53200 - 20 | Overhead | 8,006 | 13,900 |
| | 155 - 53200 - 30 | Materials | 912 | 12,000 |
| | 155 - 53200 - 40 | Transportation | 7,037 | 13,000 |
| | 155 - 53200 - 50 | Utilities | 209,146 | 400,000 |
| | 155 - 53200 - 60 | Other | 14,800 | 5,000 |
| | | Total | 252,813 | 466,300 |
| Knights Ferry Pumping Plant | 200 - 53200 - 10 | Labor | 2,976 | 1,200 |
| | 200 - 53200 - 20 | Overhead | 1,843 | 800 |
| | 200 - 53200 - 30 | Materials | 517 | 250 |
| | 200 - 53200 - 40 | Transportation | 2,009 | 1,000 |
| | 200 - 53200 - 50 | Utilities | 1,358 | 1,200 |
| | 200 - 53200 - 60 | Other | 2,488 | 100 |
| | | Total | 11,191 | 4,550 |
| Reclamation & Drainage Pumps | 245 - 53200 - 10 | Labor | 11,801 | 26,900 |
| | 245 - 53200 - 20 | Overhead | 7,316 | 16,700 |
| | 245 - 53200 - 30 | Materials | 2,582 | 15,000 |
| | 245 - 53200 - 40 | Transportation | 6,453 | 15,000 |
| | 245 - 53200 - 50 | Utilities | 78,371 | 90,000 |
| | 245 - 53200 - 60 | Other | 564 | 10,000 |
| | | Total | 107,087 | 173,600 |
| River Pumps | 255 - 53200 - 10 | Labor | 4,228 | 2,700 |
| | 255 - 53200 - 20 | Overhead | 2,623 | 1,700 |
| | 255 - 53200 - 30 | Materials | 275 | 1,500 |
| | 255 - 53200 - 40 | Transportation | 1,699 | 1,500 |
| | 255 - 53200 - 50 | Utilities | 17,264 | 18,000 |
| | 255 - 53200 - 60 | Other | 64 | 1,500 |
| | | Total | 26,153 | 26,900 |
| TOTAL PUMPING PLANT OPERATIONS AND MAINTENANCE | | | 420,688 | 705,100 |

| ACCOUNT DESCRIPTION | ACCOUNT NO. | FUNCTION | 2016 YTD ACTUAL | TOTAL 2016 ANNUAL BUDGET |
|------------------------------------|------------------|----------------|--------------------|--------------------------------|
| DRAINAGE SYSTEM MAINTENANCE | | | | |
| Administration | 100 - 53400 - 10 | Labor | 14,921 | 16,300 |
| | 100 - 53400 - 20 | Overhead | 8,942 | 10,200 |
| | | Total | 23,863 | 26,500 |
| Bridge/Crossing Maintenance | 125 - 53400 - 10 | Labor | 0 | 2,000 |
| | 125 - 53400 - 20 | Overhead | 0 | 1,300 |
| | 125 - 53400 - 30 | Materials | 35 | 900 |
| | 125 - 53400 - 40 | Transportation | 0 | 400 |
| | 125 - 53400 - 60 | Other | 0 | 200 |
| | | Total | 35 | 4,800 |
| Earth Drain Maintenance | 170 - 53400 - 10 | Labor | 24,657 | 43,100 |
| | 170 - 53400 - 20 | Overhead | 15,289 | 26,800 |
| | 170 - 53400 - 30 | Materials | 8,133 | 10,000 |
| | 170 - 53400 - 40 | Transportation | 20,188 | 18,500 |
| | 170 - 53400 - 60 | Other | 37,150 | 26,500 |
| | | Total | 105,417 | 124,900 |
| Pest Control | 235 - 53400 - 10 | Labor | 11,892 | 8,100 |
| | 235 - 53400 - 20 | Overhead | 7,373 | 5,100 |
| | 235 - 53400 - 30 | Materials | 13,141 | 14,800 |
| | 235 - 53400 - 40 | Transportation | 14,974 | 14,200 |
| | | Total | 47,380 | 42,200 |
| Pipeline Maintenance | 240 - 53400 - 10 | Labor | 3,209 | 6,100 |
| | 240 - 53400 - 20 | Overhead | 1,990 | 3,800 |
| | 240 - 53400 - 30 | Materials | 5,134 | 3,300 |
| | 240 - 53400 - 40 | Transportation | 1,316 | 700 |
| | 240 - 53400 - 60 | Other | 1,056 | 1,000 |
| | | Total | 12,705 | 14,900 |
| Retention Ponds | 250 - 53400 - 10 | Labor | 0 | 1,600 |
| | 250 - 53400 - 20 | Overhead | 0 | 1,000 |
| | 250 - 53400 - 30 | Materials | 0 | 400 |
| | 250 - 53400 - 40 | Transportation | 0 | 600 |
| | 250 - 53400 - 60 | Other | 0 | 1,000 |
| | | Total | 0 | 4,600 |

| ACCOUNT DESCRIPTION | ACCOUNT NO. | FUNCTION | 2016 YTD ACTUAL | TOTAL 2016 ANNUAL BUDGET |
|---|------------------|----------------|--------------------|--------------------------------|
| DRAINAGE SYSTEM MAINTENANCE - <i>continued</i> | | | | |
| Road Maintenance | 260 - 53400 - 10 | Labor | 2,258 | 17,700 |
| | 260 - 53400 - 20 | Overhead | 1,400 | 11,000 |
| | 260 - 53400 - 30 | Materials | 939 | 5,700 |
| | 260 - 53400 - 40 | Transportation | 2,857 | 6,000 |
| | 260 - 53400 - 60 | Other | 864 | 3,300 |
| | | Total | 8,318 | 43,700 |
| Structures and Turnout Maintenance | 305 - 53400 - 10 | Labor | 1,702 | 7,800 |
| | 305 - 53400 - 20 | Overhead | 1,056 | 4,900 |
| | 305 - 53400 - 30 | Materials | 2,549 | 2,800 |
| | 305 - 53400 - 40 | Transportation | 1,225 | 2,300 |
| | 305 - 53400 - 60 | Other | 1,813 | 400 |
| | | Total | 8,345 | 18,200 |
| TOTAL DRAINAGE SYSTEM MAINTENANCE | | | 206,063 | 279,800 |

| ACCOUNT DESCRIPTION | ACCOUNT NO. | FUNCTION | 2016 YTD ACTUAL | TOTAL 2016 ANNUAL BUDGET |
|---|------------------|----------------|--------------------|--------------------------------|
| BUILDING & GROUNDS MAINTENANCE | | | | |
| Administration | 100 - 53600 - 10 | Labor | 12,351 | 15,000 |
| | 100 - 53600 - 20 | Overhead | 7,657 | 9,300 |
| | 100 - 53600 - 30 | Materials | 4,382 | 1,700 |
| | 100 - 53600 - 60 | Other | 0 | 400 |
| | | Total | 24,390 | 26,400 |
| Clavey Dwelling | 135 - 53600 - 60 | Other | 0 | 1,500 |
| | | Total | 0 | 1,500 |
| Main Office | 205 - 53600 - 10 | Labor | 341 | 22,500 |
| | 205 - 53600 - 20 | Overhead | 213 | 14,000 |
| | 205 - 53600 - 30 | Materials | 11,545 | 11,000 |
| | 205 - 53600 - 50 | Utilities | 21,697 | 21,900 |
| | 205 - 53600 - 60 | Other | 14,944 | 17,100 |
| | | Total | 48,740 | 86,500 |
| Shop Buildings | 275 - 53600 - 10 | Labor | 2,556 | 14,100 |
| | 275 - 53600 - 20 | Overhead | 1,586 | 8,800 |
| | 275 - 53600 - 30 | Materials | 13,712 | 6,900 |
| | 275 - 53600 - 50 | Utilities | 21,760 | 20,500 |
| | 275 - 53600 - 60 | Other | 1,751 | 2,600 |
| | | Total | 41,365 | 52,900 |
| Yard | 345 - 53600 - 10 | Labor | 107,819 | 9,600 |
| | 345 - 53600 - 20 | Overhead | 66,581 | 6,000 |
| | 345 - 53600 - 30 | Materials | 14,477 | 4,700 |
| | 345 - 53600 - 40 | Transportation | 4,160 | 4,400 |
| | 345 - 53600 - 60 | Other | 10,132 | 15,900 |
| | | Total | 203,169 | 40,600 |
| TOTAL BUILDING & GROUNDS MAINTENANCE | | | 317,664 | 207,900 |

| ACCOUNT DESCRIPTION | ACCOUNT NO. | FUNCTION | 2016 YTD ACTUAL | TOTAL 2016 ANNUAL BUDGET |
|--|------------------|----------------|--------------------|--------------------------------|
| VEHICLE & EQUIPMENT MAINTENANCE | | | | |
| Administration | 100 - 53800 - 10 | Labor | 89,168 | 76,000 |
| | 100 - 53800 - 20 | Overhead | 55,528 | 47,200 |
| | 100 - 53800 - 30 | Materials | 972 | 900 |
| | 100 - 53800 - 40 | Transportation | 1,036 | 2,100 |
| | 100 - 53800 - 50 | Utilities | 129 | 300 |
| | 100 - 53800 - 60 | Other | 50 | 1,100 |
| | | Total | 146,883 | 127,600 |
| Shop | 280 - 53800 - 10 | Labor | 120,811 | 138,000 |
| | 280 - 53800 - 20 | Overhead | 74,901 | 85,600 |
| | 280 - 53800 - 30 | Materials | 117,352 | 121,200 |
| | 280 - 53800 - 40 | Transportation | 17,157 | 23,000 |
| | 280 - 53800 - 60 | Other | 9,471 | 25,800 |
| | | Total | 339,692 | 393,600 |
| TOTAL VEHICLE & EQUIPMENT MAINTENANCE | | | 486,575 | 521,200 |

| ACCOUNT DESCRIPTION | ACCOUNT NO. | FUNCTION | 2016 YTD ACTUAL | TOTAL 2016 ANNUAL BUDGET |
|--|-------------|---------------------|--------------------|--------------------------------|
| DOMESTIC WATER SYSTEM MAINTENANCE | | | | |
| Administration | 100 - 54000 | - 10 Labor | 18,581 | 54,600 |
| | 100 - 54000 | - 20 Overhead | 13,192 | 33,900 |
| | 100 - 54000 | - 30 Materials | 829 | 2,500 |
| | 100 - 54000 | - 50 Utilities | 1,301 | 1,000 |
| | 100 - 54000 | - 60 Other | 0 | 2,000 |
| | | Total | 33,903 | 94,000 |
| Domestic Water System | 265 - 54000 | - 10 Labor | 48,219 | 50,200 |
| | 265 - 54000 | - 20 Overhead | 34,239 | 31,200 |
| | 265 - 54000 | - 30 Materials | 3,903 | 15,000 |
| | 265 - 54000 | - 40 Transportation | 7,605 | 10,000 |
| | 265 - 54000 | - 50 Utilities | 67,057 | 60,000 |
| | 265 - 54000 | - 60 Other | 14,051 | 18,000 |
| | | Total | 175,074 | 184,400 |
| TOTAL DOMESTIC WATER SYSTEM MAINTENANCE | | | 208,977 | 278,400 |

| ACCOUNT DESCRIPTION | ACCOUNT NO. | FUNCTION | 2016 YTD ACTUAL | TOTAL 2016 ANNUAL BUDGET |
|---|------------------|----------------|--------------------|--------------------------------|
| IRRIGATION WATER LATERAL OPERATIONS - NORTH DIVISION | | | | |
| Administration | 100 - 54200 - 10 | Labor | 153,882 | 137,000 |
| | 100 - 54200 - 20 | Overhead | 95,407 | 85,000 |
| | 100 - 54200 - 30 | Materials | 870 | 2,500 |
| | 100 - 54200 - 50 | Utilities | 3,443 | 3,000 |
| | 100 - 54200 - 60 | Other | 15,627 | 15,000 |
| | | Total | 269,229 | 242,500 |
| Water Distribution | 335 - 54200 - 10 | Labor | 545,711 | 512,700 |
| | 335 - 54200 - 20 | Overhead | 338,341 | 317,900 |
| | 335 - 54200 - 30 | Materials | 6,665 | 7,000 |
| | 335 - 54200 - 40 | Transportation | 251,241 | 245,000 |
| | 335 - 54200 - 50 | Utilities | 7,816 | 8,000 |
| | 335 - 54200 - 60 | Other | 107 | 750 |
| | | Total | 1,149,881 | 1,091,350 |
| TOTAL IRRIGATION WATER LATERAL OPERATIONS - NORTH DIVISION | | | 1,419,110 | 1,333,850 |
| IRRIGATION WATER LATERAL OPERATIONS - SOUTH DIVISION | | | | |
| Administration | 100 - 54400 - 10 | Labor | 150,661 | 137,000 |
| | 100 - 54400 - 20 | Overhead | 93,408 | 85,000 |
| | 100 - 54400 - 30 | Materials | 858 | 2,500 |
| | 100 - 54400 - 50 | Utilities | 3,443 | 3,000 |
| | 100 - 54400 - 60 | Other | 15,627 | 15,000 |
| | | Total | 263,997 | 242,500 |
| Water Distribution | 335 - 54400 - 10 | Labor | 516,014 | 512,700 |
| | 335 - 54400 - 20 | Overhead | 319,930 | 317,900 |
| | 335 - 54400 - 30 | Materials | 6,350 | 7,000 |
| | 335 - 54400 - 40 | Transportation | 236,828 | 225,000 |
| | 335 - 54400 - 50 | Utilities | 6,220 | 6,000 |
| | 335 - 54400 - 60 | Other | 7 | 750 |
| | | Total | 1,085,349 | 1,069,350 |
| TOTAL IRRIGATION WATER LATERAL OPERATIONS - SOUTH DIVISION | | | 1,349,346 | 1,311,850 |
| DRAINAGE WATER OPERATIONS | | | | |
| Storm Water Management | 175 - 54600 - 10 | Labor | 13,068 | 3,000 |
| | 175 - 54600 - 20 | Overhead | 8,102 | 1,900 |
| | 175 - 54600 - 40 | Transportation | 4,147 | 1,600 |
| | 175 - 54600 - 50 | Utilities | 4,627 | 5,000 |
| | | Total | 29,944 | 11,500 |
| TOTAL DRAINAGE WATER OPERATIONS | | | 29,944 | 11,500 |

| ACCOUNT DESCRIPTION | ACCOUNT NO. | FUNCTION | 2016 YTD ACTUAL | TOTAL 2016 ANNUAL BUDGET |
|---|------------------|----------------|--------------------|--------------------------------|
| WATER MEASUREMENT MANAGEMENT | | | | |
| Ag. Waiver / Discharge Compliance | 110 - 54800 - 10 | Labor | 1,032 | 1,000 |
| (old acct no. 52900) | 110 - 54800 - 20 | Overhead | 639 | 700 |
| | 110 - 54800 - 30 | Materials | 351 | 2,500 |
| | 110 - 54800 - 40 | Transportation | 446 | 500 |
| | 110 - 54800 - 60 | Other | 5,890 | 7,500 |
| | | Total | 8,358 | 12,200 |
| | | | | |
| Water Measurement Program | 342 - 54800 - 10 | Labor | 13,723 | 15,000 |
| | 342 - 54800 - 20 | Overhead | 8,509 | 9,300 |
| | 342 - 54800 - 30 | Materials | 4,109 | 10,000 |
| | 342 - 54800 - 40 | Transportation | 4,605 | 10,000 |
| | 342 - 54800 - 60 | Other | 0 | 7,500 |
| | | Total | 30,946 | 51,800 |
| | | | | |
| TOTAL WATER MEASUREMENT MANAGEMENT | | | 39,304 | 64,000 |

| ACCOUNT DESCRIPTION | ACCOUNT NO. | FUNCTION | 2016 YTD ACTUAL | TOTAL 2016 ANNUAL BUDGET |
|---|------------------|-----------|--------------------|--------------------------------|
| GENERAL & ADMINISTRATION | | | | |
| Management / Supervision | 600 - 56200 - 10 | Labor | 384,064 | 348,600 |
| Management / Supervision | 600 - 56200 - 20 | Overhead | 239,205 | 216,200 |
| Clerical | 605 - 56200 - 10 | Labor | 238,243 | 296,100 |
| Clerical | 605 - 56200 - 20 | Overhead | 147,709 | 183,600 |
| Engineering / Technical | 608 - 56200 - 10 | Labor | 210,568 | 219,000 |
| Engineering / Technical | 608 - 56200 - 20 | Overhead | 130,638 | 135,800 |
| Meetings / Training | 615 - 56200 - 10 | Labor | 33,558 | 39,000 |
| Meetings / Training | 615 - 56200 - 20 | Overhead | 20,972 | 24,200 |
| Professional Training | 618 - 56200 - 10 | Labor | 11,700 | 9,400 |
| Professional Training | 618 - 56200 - 20 | Overhead | 7,089 | 5,900 |
| Vacation Compensation | 620 - 56200 - 10 | Labor | 339,436 | 279,000 |
| Vacation Compensation | 620 - 56200 - 20 | Overhead | 178,342 | 173,000 |
| Sick Leave Compensation | 625 - 56200 - 10 | Labor | 175,616 | 111,000 |
| Sick Leave Compensation | 625 - 56200 - 20 | Overhead | 108,739 | 68,900 |
| Holiday Compensation | 630 - 56200 - 10 | Labor | 159,982 | 137,200 |
| Holiday Compensation | 630 - 56200 - 20 | Overhead | 99,190 | 85,100 |
| Other Non-Productive Comp. | 635 - 56200 - 10 | Labor | 262,499 | 102,200 |
| Other Non-Productive Comp. | 635 - 56200 - 20 | Overhead | 162,090 | 63,400 |
| Director's Compensation | 640 - 56200 - 10 | Labor | 55,000 | 60,000 |
| Director's Compensation | 640 - 56200 - 20 | Overhead | 36,580 | 37,200 |
| Health Insurance | 650 - 56200 - 20 | Overhead | 729,346 | 832,500 |
| Dental Insurance | 655 - 56200 - 20 | Overhead | 77,894 | 83,000 |
| Vision Insurance | 660 - 56200 - 20 | Overhead | 16,758 | 19,000 |
| Life Insurance | 665 - 56200 - 20 | Overhead | 9,601 | 13,000 |
| Cafeteria & EAP Plans | 667 - 56200 - 20 | Overhead | 3,783 | 3,600 |
| Health & Fitness Program | 668 - 56200 - 20 | Overhead | 8,178 | 17,500 |
| Retirement Plan Contribution | 670 - 56200 - 20 | Overhead | 560,429 | 593,100 |
| Deferred Comp Contribution | 671 - 56200 - 20 | Overhead | 59,153 | 71,000 |
| Workers' Compensation Insurance | 675 - 56200 - 20 | Overhead | 243,012 | 339,000 |
| State Unemployment Expense | 680 - 56200 - 20 | Overhead | 1,466 | 30,000 |
| Social Security & Medicare | 685 - 56200 - 20 | Overhead | 345,787 | 394,000 |
| Office & Computer Supplies, Equip. & Furn | 700 - 56200 - 30 | Materials | 63,977 | 57,500 |
| Safety Materials and Supplies | 705 - 56200 - 30 | Materials | 5,077 | 15,700 |
| Classified Ads / Employment Ads | 720 - 56200 - 30 | Materials | 7,266 | 8,100 |
| Miscellaneous | 725 - 56200 - 30 | Materials | 26,564 | 27,900 |
| Telephone & Cellular Expense | 740 - 56200 - 50 | Utilities | 10,180 | 11,400 |
| Education/Training/Travel Expense | 750 - 56200 - 60 | Other | 30,208 | 48,800 |
| Membership Dues & Fees | 755 - 56200 - 60 | Other | 35,149 | 36,000 |
| Election Expense | 760 - 56200 - 60 | Other | 0 | 0 |
| Physical Expense/Background Checks | 765 - 56200 - 60 | Other | 11,235 | 11,000 |
| Safety Incentive & Productivity Program | 770 - 56200 - 60 | Other | 21,491 | 29,000 |
| Service Warranty Contracts | 775 - 56200 - 60 | Other | 60,844 | 62,700 |
| Subscriptions / Publications / Licenses | 780 - 56200 - 60 | Other | 14,129 | 22,500 |
| Insurance Expense | 800 - 56200 - 60 | Other | 120,376 | 155,000 |
| Investment Expenses | 805 - 56200 - 60 | Other | 29,989 | 37,000 |
| Judgment & Damages | 850 - 56200 - 60 | Other | 1,523 | 5,000 |
| Expense Credits (Overhead) | 860 - 56200 - 20 | Overhead | (2,887,768) | (2,395,700) |
| Expense Credits (Overhead) | 860 - 56200 - 40 | Equipment | (1,102,601) | (1,040,000) |
| Expense Credits (Overhead) | 860 - 56200 - 60 | Other | (244,289) | (250,000) |
| Prior Year Expense | 865 - 56200 - 60 | Other | 10,607 | 0 |

| ACCOUNT DESCRIPTION | ACCOUNT NO. | FUNCTION | 2016 YTD ACTUAL | TOTAL 2016 ANNUAL BUDGET |
|--|------------------|----------------------|--------------------|--------------------------------|
| GENERAL & ADMINISTRATION - <i>continued</i> | | | | |
| SJTA & Stan. GW Mgmt Contribution | 870 - 56200 - 60 | Other | 240,000 | 240,000 |
| Regulatory Compliance Fees | 872 - 56200 - 60 | Other | 59,617 | 55,000 |
| County Administration Fees | 875 - 56200 - 60 | Other | 22,120 | 38,000 |
| Legal - General | 900 - 56200 - 60 | Other | 152,175 | 170,000 |
| Legal - Litigation | 901 - 56200 - 60 | Other | 275,714 | 30,000 |
| Finance Consultants | 905 - 56200 - 60 | Other | 30,900 | 28,900 |
| Engineering / Consultants | 910 - 56200 - 60 | Other | 255,101 | 150,000 |
| Other Consultants | 915 - 56200 - 60 | Other | 32,470 | 31,000 |
| Community Outreach | 920 - 56200 - 60 | Other | 37,187 | 56,000 |
| Warehouse Over/Short | 997 - 56200 - 60 | Other | (2,204) | 0 |
| Amortization Expense | 998 - 56200 - 90 | Amortization Expense | 0 | 12,600 |
| Depreciation Expense | 999 - 56200 - 91 | Depreciation Expense | 2,434,040 | 2,500,000 |
| TOTAL GENERAL & ADMINISTRATION | | | 4,807,704 | 5,143,900 |

BOARD AGENDA REPORT

Date: February 7, 2017
Item Number: 5
APN: N/A

SUBJECT: APPROVE AWARD OF BID TO TRI-WEST TRACTOR, INC. FOR TWO (2) KOBELCO 55SRX-6E COMPACT EXCAVATORS WITH ATTACHMENTS

RECOMMENDED ACTION: Approve

BACKGROUND AND/OR HISTORY:

Staff solicited bids from three (3) vendors, Tri-West Tractor in Livermore, Cen-Cal Machinery in Fresno and Feenaughty Machinery in Portland, Oregon, all three vendors provided bids. Tri-West Tractor provided the lowest responsive total bid of \$128,770.00 for two (2) Kobelco 55SRX-6E compact excavators w/ attachments.

Staff sole sourced Kobelco as the preferred manufacturer due to the institutional knowledge of the District's Auto Shop to conduct repairs and maintenance of Kobelco equipment with the software we currently have and that the District's equipment operators are fluent in the controls and operations of Kobelco equipment.

Staff's recommendation is to purchase the two (2) excavators noted above from Tri-West Tractor for a total amount of \$128,770.00. A summary of the bids is attached to this agenda item. The amount included in the 2017 budget was \$170,000.00.

FISCAL IMPACT: \$128,770.00 (Budgeted \$170,000.00)

ATTACHMENTS:

- Bid Form
- Bid Specifications
- Bidder's Response (3)
- Bid Results Spreadsheet

Board Motion:

Motion by: _____ **Second by:** _____

VOTE:

Webb (Yes/No) Doornenbal (Yes/No) Osmundson (Yes/No) Altieri (Yes/No) Santos (Yes/No)

Action(s) to be taken:



1205 East F Street, Oakdale, CA 95361 - 209-847-0341 - Fax: 209-847-3468 - www.oakdaleirrigation.com

REQUEST FOR BID

THIS IS NOT AN ORDER

Bid Number: 2017-002
Date Mailed: 01/13/2017
Return No Later Than: 2:30 P.M. on 01/31/2017

Instructions:

1. Read Instructions and conditions on reverse side before quoting.
2. **Quote on each item separately.**
3. Specify how many are in the unit of the product you are quoting.
4. State warranty period, if any, on equipment and maintenance agreement terms.
5. Price quoted FOB destination, unless otherwise stated.
6. Complete and sign all pages of the quotation. Any unsigned quotation will be considered non-responsive and void.
7. Return this form and all attachments, keeping one copy for your reference. Show bid number on outside of envelope if one is given.

Send a price on the following: If the price (s) does not include shipping, quote estimated shipping cost. If you are the qualifying low bid, you will be notified by phone or mail within 14 days or less.

| <u>Item No.</u> | <u>Qty</u> | <u>Unit</u> | <u>Description</u> | <u>Mfg Brand and or Trade Name</u> | <u>Unit Price</u> | <u>Amount</u> |
|-----------------|------------|-------------|---|------------------------------------|-------------------|---------------|
| 001 | 2 | Ea. | <p>Kobelco 55SRX-6E Compact Excavators w/ Attachments</p> <p>See the attached specification sheets for details.</p> <p>Include and specify <u>ALL</u> fees.</p> <p>Include documentation and licensing (EIN Number).</p> <p>All taxes included.</p> <p>Quote each item separately.</p> <p>Provide ETA to Oakdale Irrigation District for delivery.</p> <p>Price quoted is FOB destination.</p> <p>Return Bid to the Attention of: Jason R. Jones, Support Services Manager Oakdale Irrigation District 1205 East F Street Oakdale, CA 95361</p> <p>Please call Jason Jones at (209) 840-5535 or email at jjones@oakdaleirrigation.com. If there are any questions or clarifications need.</p> | | | |

VENDOR IS REQUIRED TO PROVIDE A COMPLETED MSDS (MATERIAL SAFETY DATA SHEET) FOR HAZARDOUS SUBSTANCES. THIS IS REQUIRED BY LABOR CODE SECTION 6382 AND 6090 GENERAL INDUSTRIAL SAFETY ORDER SECTION 519, TITLE 6 CA ADMIN CODE, MSDS SHEET FOR EACH SPECIFIED ITEM SHALL BE SENT TO PLACE OF SHIPMENT.

| | | |
|---|--|--|
| <p>We agree to furnish the above articles and/or services at the price shown and terms stated, subject to the instructions and conditions on both sides of this form.</p> <p>Company Name: _____</p> <p>Address: _____</p> <p>Authorized Signature: _____</p> <p>Title: _____</p> <p>Phone: _____ 800 No. _____</p> <p>Fax No.: _____</p> | <p>Business License No. _____</p> <p>Federal ID No. _____</p> <p>Ca. Sales or Use Tax Permit No. _____</p> | <p>Subject to cash discount of _____ % in _____ days</p> <p>Cash Discount of less than 15 days will be considered net. Quotations are FOB _____</p> <p>Delivered unless otherwise specified _____</p> <p>Complete delivery will be made in _____ days from receipt of order unless otherwise indicated</p> |
|---|--|--|

INSTRUCTIONS AND CONDITIONS

1. All prices and notations must be typewritten or in ink. No erasures permitted. Mistakes may be corrected by crossing out wrong entry with correction placed adjacent and initialed in ink.
2. Specify brand or make on each item. If quoting article exactly as specified so state with words "as specified". If quoting on other than make, model or brand specify the manufacturer's name, and catalog number must be given, or descriptive cut and information attached to the quotation.
3. Quote each item separately. Prices should be stated in units specified herein.
4. Each bid must be in separate sealed envelope with quotation number on outside, and must be submitted to Oakdale Irrigation District, 1205 East F Street, Oakdale Ca 95361 by 2:00 p.m. on the day specified. At that specified time the bids will publicly be opened and read.
5. Time of delivery is a part of the consideration and must be stated in definite terms and must be adhered to. If time varies on different items, vendor will so indicate.
6. Terms of less than 15 days for each will be considered net in evaluating the quotation.
7. All quotations must be signed with the firm's name and by a responsible officer or employee. Obligations assumed by such signature sales or use taxes.
8. Unless otherwise definitely stated, the prices quoted herein do not include sales or use taxes.
9. No charges for transportation, containers, packing, etc. will be allowed unless so specified in your quotation.
10. The right is reserved to reject any, or all quotations, or to waive any informality in quotes, and to accept or reject any items thereon.
11. Samples of items, when required, must be furnished free of expense to the Oakdale Irrigation District and if not destroyed by tests will upon request be returned at the vendor's expense.
12. In case of default by the vendor, the Oakdale Irrigation District may procure the articles, or services from other sources, and may deduct from unpaid balance due the vendor, or may collect against the bond of surety for excess costs to paid, and the prices paid by the Oakdale Irrigation District shall be considered the prevailing market price at the time such purchase is made.
13. Cost of inspection on deliveries or offers for delivery, which do not meet specifications, will be charged to the account of the vendor.
14. The vendor shall hold harmless the Oakdale Irrigation District, its officers, agents, servants and employees, from liability of any nature or kind on account of use of any copyrighted or uncopyrighted composition, secret process patented or unpatented invention, article or appliance furnished or used under this quotation.
15. The vendor will not be held liable for failure or delay in fulfillment if hindered or prevented by fire, strikes or Acts of God. (FORCE MAJEURE).
16. Quotations are subject to acceptance at any time within 30 days after opening of same, unless otherwise stipulated.
17. Verify your quotations at any time within 30 days after opening of same, unless otherwise stipulated.
18. Verify your quotations before submission as they cannot be withdrawn, or corrected, after being opened.
19. Amount paid for transportation of property to the Oakdale Irrigation District is exempt from Federal Transportation Tax. An exemption certificate is not required where the shipping papers show the consignee as Oakdale Irrigation District, as such papers may be accepted by the carrier as proof of the exempt character of the shipment.
20. Unless otherwise specified, all equipment or articles shall be new and of the latest model; not used, remanufactured or reconditioned.
21. Unit price for each item offered shall include packing and shipping unless otherwise specified. A total shall be entered in the Amount column for each item offered. In case of discrepancy between the unit price and extended price, the unit price will be presumed to be correct.
22. Time will be of the essence for any orders placed as a result of this quotation. The Oakdale Irrigation District reserved the right to cancel such order(s) or any part thereof, without obligation, if delivery is not made within the time(s) specified on the quotation form.



OAKDALE IRRIGATION DISTRICT

Item No. 001 – TWO (2) EACH KOBELCO 55SRX-6E COMPACT EXCAVATOR SPECIFICATIONS

The following specifications describe the **minimum** requirements for a track crawler hydraulic excavator. The equipment bid shall be new, and of the current production model. Any additions, deletions or variations from the following specifications must be noted, or the bid will be rejected. Two (2) copies of current literature must be submitted with the bid. Successful bidder must supply operator's manual, parts book, and service manual at time of delivery. Warranty service and parts must be provided within the county where unit is to be delivered.

GENERAL

Machine modifications to meet the operational requirements of this specification shall be limited to the manufacturer's published standard and optional equipment. All operating specifications are based on current SAE standards and shall be the basis for determining compliance with specified requirements.

The excavator shall have a **37.4 net horsepower** diesel engine. The excavator shall have a minimum operating weight of 11,600 pounds.

ENGINE

The excavator shall have a 4-cylinder, diesel engine with a minimum 37 @ 2,400rpm net horsepower. The engine shall provide a minimum SAE net torque rating of 97ft-lbs at 1,560rpm. Engine to be Tier IV Final certified per Federal Emissions Standards.

The engine shall also provide the following:

- Tier IV Final emission approved engine
- 4 cycle, water-cooled, direct injection diesel
- Minimum 133 cubic inch displacement
- Dry-type, single element air cleaner
- Fuel filtering system
- Spin-on engine oil filter
- Metal fan guard
- 12-Volt electrical system
- Minimum 55-amp alternator
- 12V-72AH battery

Item No. 001 – TWO (2) EACH KOBELCO 55SRX-6E COMPACT EXCAVATOR
SPECIFICATIONS - CONTINUED

HYDRAULICS AND WORKING ATTACHMENTS PERFORMANCE

The excavator has independent hydraulic system and with boom and arm. Minimum operating weight to be 11,600 pounds.

The hydraulic system shall have the following:

TRAVEL

- Dual travel speeds (1.4/2.5mph)
- Maximum travel speed of 2.5 mph
- Automatically spring applied, hydraulically released parking brake
- 12,342 lbf. of Travel Drawbar pull

HYDRAULIC PUMP and SYSTEM

- Smart 4-pump delivers provides for simultaneous use of arm, bucket, travel and swing systems.
- Main pumps rated at 13.2 gpm each for attachments use
- Hydraulic tank capacity 7.4 gallons (total system 15.2 gallons)
- Main control valve to have replaceable sections

SWING

- Swing speed 8.5 RPM
- 11.4" overhang of Counterweight outside of tracks over the side.
- Disk swing brake automatically applies when swing disengaged or engine stops, releases automatically when swing is engaged.

The Attachments shall have the following:

BOOM AND ARM (5'7")

- 11,128 pounds of bucket breakout force
- 5,300 pounds of dipperstick force
- 59 degree right / 70 degree left swing boom with foot control
- 12'10" Maximum digging depth
- 20' Maximum digging reach at ground level
- 14'3" Maximum dumping clearance height
- 5'7" arm length
- 9'1.84" boom length

DOZER BLADE

- Max lift above ground level 19"
- Max depth below ground level 15"

UNDERCARRIAGE and LOWER GROUP

The excavator shall feature a Mono rubber track design.

- Gradeability 30 degrees (58%)
- Ground clearance of 13.8"
- 15.7" width of rubber track
- 8'2" overall crawler length

Item No. 001 – TWO (2) EACH KOBELCO 55SRX-6E COMPACT EXCAVATOR
SPECIFICATIONS - CONTINUED

- 6'5." overall crawler width
- Lifetime sealed lower track rollers (5 per side)
- Grease cylinder track tension adjustment

| |
|-----------------------------|
| OPERATOR ENVIRONMENT |
|-----------------------------|

The excavator shall have a 4 post ROPS/FOPS canopy.

The excavator canopy shall also include the following features:

- Two pilot lever controls for boom, arm, bucket and swing
- Operator control pattern changer (ISO/TLB)
- Two foot pedals with levers for travel
- Padded vinyl adjustable position seat
- Retractable seat belt
- Operator controls ergonomically configured to operator's right side
- One front work light
- Electric horn

Monitor Panel (Gauge Cluster) includes;

- Fuel Level Gauge
- Hour meter
- Fuel Consumption
- Warning and Indicator Lights
- Engine Preheat
- High (2nd) Travel Speed
- Battery Charge
- Engine Oil Pressure
- Coolant Temperature
- Air Cleaner Clogging

| |
|-----------------------|
| SERVICEABILITY |
|-----------------------|

The excavator shall be easy to service from ground level for the following functions

- Engine oil filter
- Fuel filter
- Fuel water separator filter
- Air Filter
- Battery
- Separate radiator/oil cooler

The excavator service shall also include the following:

- Minimum 19 gallon fuel tank
- Minimum 7.4 gallon hydraulic oil tank, System 15.2 gallons

Item No. 001 – TWO (2) EACH KOBELCO 55SRX-6E COMPACT EXCAVATOR
SPECIFICATIONS - CONTINUED

Service intervals: (In normal “non-extreme” applications)

- Engine oil filter and oil –250 hours
- Engine fuel filter—500 hours
- Hydraulic Return Filter—1000 hours change
- Hydraulic oil change – 5000 hours
- Bucket Linkage grease interval – 50 hours

| |
|-----------------|
| WARRANTY |
|-----------------|

The excavator warranty shall include the following:

- 2 Year/2,000 Hour Full Machine
- 3 Year/3,000 Hour Powertrain

ADDITIONAL SPECIFICATIONS

- Aux. Hydraulic – Nibbler/Breaker to tip of stick
- WERK-BRAU manual spring lock quick coupler w/ lifting eye – INSTALLED
- WERK-BRAU Hydraulic Thumb – INSTALLED
- WERK-BRAU 16” Digging Bucket w/ replaceable teeth X-156 style.
- WERK-BRAU 36” Clean-up Bucket with reversible bolt on cutting edge.
- SUI 16” Compaction Wheel



1205 East F Street, Oakdale, CA 95361 - 209-847-0341 - Fax: 209-847-3468 - www.oakdaleirrigation.com

REQUEST FOR BID

THIS IS NOT AN ORDER

Bid Number: 2017-002
Date Mailed: 01/13/2017
Return No Later Than: 2:30 P.M. on 01/31/2017

Received

JAN 31 2017

Oakdale ID
Counter

Instructions:

1. Read Instructions and conditions on reverse side before quoting.
2. Quote on each item separately.
3. Specify how many are in the unit of the product you are quoting.
4. State warranty period, if any, on equipment and maintenance agreement terms.
5. Price quoted FOB destination, unless otherwise stated.
6. Complete and sign all pages of the quotation. Any unsigned quotation will be considered non-responsive and void.
7. Return this form and all attachments, keeping one copy for your reference. Show bid number on outside of envelope if one is given.

Send a price on the following: If the price (s) does not include shipping, quote estimated shipping cost. If you are the qualifying low bid, you will be notified by phone or mail within 14 days or less.

| Item No. | Qty | Unit | Description | Mfg Brand and or Trade Name | Unit Price | Amount |
|----------|-----|------|---|-----------------------------|-------------|---------------|
| 001 | 2 | Ea. | Kobelco 55SRX-6E Compact Excavators w/ Attachments AS PER BID SPEC. See the attached specification sheets for details. Include and specify ALL fees. Include documentation and licensing (EIN Number). All taxes included. Quote each item separately. Provide ETA to Oakdale Irrigation District for delivery. Price quoted is FOB destination. Return Bid to the Attention of: Jason R. Jones, Support Services Manager Oakdale Irrigation District 1205 East F Street Oakdale, CA 95361 Please call Jason Jones at (209) 840-5535 or email at jjones@oakdaleirrigation.com. If there are any questions or clarifications need. | | \$64,385.00 | \$ 128,770.00 |

VENDOR IS REQUIRED TO PROVIDE A COMPLETED MSDS (MATERIAL SAFETY DATA SHEET) FOR HAZARDOUS SUBSTANCES. THIS IS REQUIRED BY LABOR CODE SECTION 6382 AND 6090 GENERAL INDUSTRIAL SAFETY ORDER SECTION 519, TITLE 6 CA ADMIN CODE. MSDS SHEET FOR EACH SPECIFIED ITEM SHALL BE SENT TO PLACE OF SHIPMENT.

We agree to furnish the above articles and/or services at the price shown and terms stated, subject to the Instructions and conditions on both sides of this form.

Company Name: TRI-WEST TRACTOR INC.

Address: 6281 S. FRONT RD. LIVERMORE, CA 94551

Authorized Signature: [Signature]

Title: PRESIDENT

Phone: 925-455-8200

Fax No.: 925-455-8220

800 No. _____

1048293

Business License No.

94-2699362

Federal ID No.

SRCHA 21-726862

Ca. Sales or Use Tax
Permit No.

Subject to cash discount of 0 % in days

Cash Discount of less than 15 days will be considered net.
Quotations are FOB

F.O.B. OAKDALE

Delivered unless otherwise specified

Complete delivery will be made in 60 days from receipt of order unless otherwise indicated



1205 East F Street, Oakdale, CA 95361 - 209-847-0341 - Fax: 209-847-3468 - www.oakdaleirrigation.com

REQUEST FOR BID

THIS IS NOT AN ORDER

Bid Number: 2017-002
Date Mailed: 01/13/2017
Return No Later Than: 2:30 P.M. on 01/31/2017

Received

JAN 31 2017

Oakdale ID
Counter

Instructions:

1. Read Instructions and conditions on reverse side before quoting.
2. **Quote on each item separately.**
3. Specify how many are in the unit of the product you are quoting.
4. State warranty period, if any, on equipment and maintenance agreement terms.
5. Price quoted FOB destination, unless otherwise stated.
6. Complete and sign all pages of the quotation. Any unsigned quotation will be considered non-responsive and void.
7. Return this form and all attachments, keeping one copy for your reference. Show bid number on outside of envelope if one is given.

Send a price on the following: If the price (s) does not include shipping, quote estimated shipping cost. If you are the qualifying low bid, you will be notified by phone or mail within 14 days or less.

| Item No. | Qty | Unit | Description | Mfg Brand and or Trade Name | Unit Price | Amount |
|----------|-----|------|---|-----------------------------|------------------------|-------------------------|
| 001 | 2 | Ea. | Kobelco 55SRX-6E Compact Excavators w/ Attachments See the attached specification sheets for details. Include and specify <u>ALL</u> fees. Include documentation and licensing (EIN Number). All taxes included. Quote each item separately. Provide ETA to Oakdale Irrigation District for delivery. Price quoted is FOB destination. Return Bid to the Attention of: Jason R. Jones, Support Services Manager Oakdale Irrigation District 1205 East F Street Oakdale, CA 95361 Please call Jason Jones at (209) 840-5535 or email at jjones@oakdaleirrigation.com . If there are any questions or clarifications need. | | \$68,282.00 | \$136,564.00 |

VENDOR IS REQUIRED TO PROVIDE A COMPLETED MSDS (MATERIAL SAFETY DATA SHEET) FOR HAZARDOUS SUBSTANCES. THIS IS REQUIRED BY LABOR CODE SECTION 6382 AND 6090 GENERAL INDUSTRIAL SAFETY ORDER SECTION 519, TITLE 8 CA ADMIN CODE, MSDS SHEET FOR EACH SPECIFIED ITEM SHALL BE SENT TO PLACE OF SHIPMENT.

We agree to furnish the above articles and/or services at the price shown and terms stated, subject to the instructions and conditions on both sides of this form.

Company Name: Cen Cal Machinery

Address: Box 9639, Fresno, CA 93793

Authorized Signature: [Signature]

Title: Ames

Phone: 559-352-0900 800 No. _____

Fax No.: 559-233-3862

294-7626-0

Business License No.

77-0051567

Federal ID No.

SEDM 22-758087

Ca. Sales or Use Tax

Permit No.

Subject to cash discount of 0 % in _____ days

Cash Discount of less than 15 days will be considered net. Quotations are FOB

OAKDALE, CA
Delivered unless otherwise specified

Complete delivery will be made in 75 days from receipt of order unless otherwise indicated



1205 East F Street, Oakdale, CA 95361 - 209-847-0341 - Fax: 209-847-3468 - www.oakdaleirrigation.com

REQUEST FOR BID

THIS IS NOT AN ORDER

Bid Number: 2017-002
Date Mailed: 01/13/2017
Return No Later Than: 2:30 P.M. on 01/31/2017

Received

JAN 31 2017

Oakdale ID
Counter

Instructions:

1. Read Instructions and conditions on reverse side before quoting.
2. **Quote on each item separately.**
3. Specify how many are in the unit of the product you are quoting.
4. State warranty period, if any, on equipment and maintenance agreement terms.
5. Price quoted FOB destination, unless otherwise stated.
6. Complete and sign all pages of the quotation. Any unsigned quotation will be considered non-responsive and void.
7. Return this form and all attachments, keeping one copy for your reference. Show bid number on outside of envelope if one is given.

Send a price on the following: If the price (s) does not include shipping, quote estimated shipping cost. If you are the qualifying low bid, you will be notified by phone or mail within 14 days or less.

| Item No. | Qty | Unit | Description | Mfg Brand and or Trade Name | Unit Price | Amount |
|----------|-----|------|---|-----------------------------|-------------|--------------|
| 001 | 2 | Ea. | <p>Kobelco 55SRX-6E Compact Excavators w/ Attachments</p> <p>See the attached specification sheets for details.</p> <p>Include and specify <u>ALL</u> fees.</p> <p>Include documentation and licensing (EIN Number).</p> <p>All taxes included.</p> <p>Quote each item separately.</p> <p>Provide ETA to Oakdale Irrigation District for delivery.</p> <p>Price quoted is FOB destination.</p> <p>Return Bid to the Attention of: Jason R. Jones, Support Services Manager Oakdale Irrigation District 1205 East F Street Oakdale, CA 95361</p> <p>Please call Jason Jones at (209) 840-5535 or email at jjones@oakdaleirrigation.com. If there are any questions or clarifications need.</p> | | \$67,464.00 | \$134,932.00 |

VENDOR IS REQUIRED TO PROVIDE A COMPLETED MSDS (MATERIAL SAFETY DATA SHEET) FOR HAZARDOUS SUBSTANCES. THIS IS REQUIRED BY LABOR CODE SECTION 6382 AND 6090 GENERAL INDUSTRIAL SAFETY ORDER SECTION 519, TITLE 6 CA ADMIN CODE. MSDS SHEET FOR EACH SPECIFIED ITEM SHALL BE SENT TO PLACE OF SHIPMENT.

We agree to furnish the above articles and/or services at the price shown and terms stated, subject to the Instructions and conditions on both sides of this form.

Company Name: Feenoughy Machinery Co

Address: 4800 NE Columbia Blvd

Authorized Signature: B. Sq

Title: General Manager

Phone: 503 282 2546 800 No. _____

Fax No.: 503 282 1755

DA3778

Business License No.

93-0165580

Federal ID No.

N/A

Ca. Sales or Use Tax
Permit No.

Subject to cash discount of 0% in _____ days

Cash Discount of less than 15 days will be considered net.
Quotations are FOB

FOB Oakdale

Delivered unless otherwise specified

Complete delivery will be made in 75 days from receipt of order unless otherwise indicated



OAKDALE IRRIGATION DISTRICT

| Bid No. 2017-002 Kobelco Excavators | | | | | | | | | | | |
|---|--|----------|-----------------------------|----------|---------------|----------------------|----------|---------------|------------------|----------|---------------|
| Description | | Item No. | BIDDER'S NAME | | | | | | | | |
| | | | Cen-Cal Machinery Co., Inc. | | | Feenaughty Machinery | | | Tri-West Tractor | | |
| | | | Unit Cost | Quantity | Amount | Unit Cost | Quantity | Amount | Unit Cost | Quantity | Amount |
| Kobelco 55SRX-6E Compact Excavator w/ Attachments | | 1 | \$ 68,282.00 | 2 | \$ 136,564.00 | \$ 67,466.00 | 2 | \$ 134,932.00 | \$ 64,385.00 | 2 | \$ 128,770.00 |
| Conformed Bid Amount Total | | | \$ 136,564.00 | | | \$ 134,932.00 | | | \$ 128,770.00 | | |

Notes:

BOARD AGENDA REPORT

Date: February 7, 2017
Item Number: 6
APN: N/A

SUBJECT: APPROVE AWARD OF BID TO HAIDLEN FORD FOR TWO (2) – 2017 MODEL ½ TON 2WD PICKUPS, ONE (1) – 2017 MODEL ½ TON 4WD PICKUP, TWO (2) – 2017 MODEL ¾ TON 4WD PICKUPS, AND ONE (1) – 2017 MODEL 4WD CAB & CHASSIS (CREW TRUCK) AND SOLE SOURCE THE FABRICATION AND INSTALLATION OF A CUSTOM BED TO STILES TRUCK BODY & EQUIPMENT, INC. (BUDGETED)

RECOMMENDED ACTION: Approve

BACKGROUND AND/OR HISTORY:

Staff solicited and received bids from two (2) local vendors, Haidlen Ford and Steves Chevrolet. Haidlen Ford provided the lowest responsive bid of \$192,318.64 for two each 2017 model ½ ton full size regular cab 2WD pickups, one each 2017 model ½ ton regular cab 4WD pickup, two each 2017 model ¾ ton regular cab 4WD pickups and one each 2017 Model 4WD cab & chassis (crew truck). Steves Chevrolet was unable to provide a bid for the crew truck due to requirements and training classes as being a dealer that they have not yet completed.

The last four crew trucks purchased by the District have had the beds built to the same standards, either by OID, a manufacturer or a combination of both. In order to provide consistency in tool placement, bed organization of additional compartments and familiarization of auto cranes, staff acquired a quote for the fabrication and installation of a custom bed (attached). Staff's recommendation is to sole source the fabrication and installation of a custom bed to Stiles Truck Body & Equipment, Inc. for a price of \$43,044.69.

Staff's recommendation is to purchase the six OID vehicles noted above from Haidlen Ford for \$192,318.64 and sole source the fabrication and installation of a custom bed to Stiles Truck Body & Equipment, Inc. for \$43,044.69, for a total amount of \$235,362.33. The total amount included in the 2017 budget was \$263,000.00.

FISCAL IMPACT: \$235,362.33 (Budgeted \$263,000.00)

ATTACHMENTS:

- Bid Form
 - Bid Specifications (4)
 - Bidder's Response
 - Bid Results Spreadsheet
 - Stiles Truck Body & Equipment quote
-

Board Motion:

Motion by: _____ **Second by:** _____

VOTE:

Webb (Yes/No) Doornenbal (Yes/No) Osmundson (Yes/No) Altieri (Yes/No) Santos (Yes/No)

Action(s) to be taken:



1205 East F Street, Oakdale, CA 95361 - 209-847-0341 - Fax: 209-847-3468 - www.oakdaleirrigation.com

REQUEST FOR BID

THIS IS NOT AN ORDER

Bid Number: 2017-001
Date Mailed: 01/13/2017
Return No Later Than: 2 P.M. on 01/31/2017

Instructions:

1. Read Instructions and conditions on reverse side before quoting.
2. **Quote on each item separately, you are not required to quote on all items to provide a bid.**
3. Specify how many are in the unit of the product you are quoting.
4. State warranty period, if any, on equipment and maintenance agreement terms.
5. Price quoted FOB destination, unless otherwise stated.
6. Complete and sign all pages of the quotation. Any unsigned quotation will be considered non-responsive and void.
7. Return this form and all attachments, keeping one copy for your reference. Show bid number on outside of envelope if one is given.

Send a price on the following: If the price (s) does not include shipping, quote estimated shipping cost. If you are the qualifying low bid, you will be notified by phone or mail within 14 days or less.

| <u>Item No.</u> | <u>Qty</u> | <u>Unit</u> | <u>Description</u> | <u>Mfg Brand and or Trade Name</u> | <u>Unit Price</u> | <u>Amount</u> |
|--|------------|-------------|--|------------------------------------|-------------------|---------------|
| 001 | 2 | Ea. | 2017 Model, ½ Ton, Full Size, Regular Cab 2-Door Pickup Two-Wheel Drive | | | |
| 002 | 1 | Ea. | 2017 Model, ½ Ton, Full Size, Regular Cab 2-Door Pickup Four-Wheel Drive | | | |
| 003 | 2 | Ea. | 2017 Model, ¾ Ton, Full Size, Regular Cab 2-Door Pickup Four-Wheel Drive | | | |
| 004 | 1 | Ea. | 2017 Model, Cab & Chassis, 169" Wheelbase Four-Wheel Drive | | | |
| <p>See the attached specification sheets for details.</p> <p>Include and specify <u>ALL</u> fees.</p> <p>Include documentation and licensing.</p> <p>All taxes included.</p> <p>Quote each item separately.</p> <p>Provide ETA to Oakdale Irrigation District for delivery.</p> <p>Price quoted is FOB destination.</p> <p>Return Bid to the Attention of: Jason R. Jones, Support Services Manager Oakdale Irrigation District 1205 East F Street Oakdale, CA 95361</p> <p>Please call Jason Jones at (209) 840-5535 or email at jjones@oakdaleirrigation.com. If there are any questions or clarifications need.</p> | | | | | | |

VENDOR IS REQUIRED TO PROVIDE A COMPLETED MSDS (MATERIAL SAFETY DATA SHEET) FOR HAZARDOUS SUBSTANCES. THIS IS REQUIRED BY LABOR CODE SECTION 6382 AND 6090 GENERAL INDUSTRIAL SAFETY ORDER SECTION 519, TITLE 6 CA ADMIN CODE, MSDS SHEET FOR EACH SPECIFIED ITEM SHALL BE SENT TO PLACE OF SHIPMENT.

| | | |
|---|--|--|
| <p>We agree to furnish the above articles and/or services at the price shown and terms stated, subject to the instructions and conditions on both sides of this form.</p> <p>Company Name: _____</p> <p>Address: _____</p> <p>Authorized Signature: _____</p> <p>Title: _____</p> <p>Phone: _____ 800 No. _____</p> <p>Fax No.: _____</p> | <p>Business License No. _____</p> <p>Federal ID No. _____</p> <p>Ca. Sales or Use Tax Permit No. _____</p> | <p>Subject to cash discount of _____ % in _____ days</p> <p>Cash Discount of less than 15 days will be considered net. Quotations are FOB _____</p> <p>Delivered unless otherwise specified _____</p> <p>Complete delivery will be made in _____ days from receipt of order unless otherwise indicated</p> |
|---|--|--|

INSTRUCTIONS AND CONDITIONS

1. All prices and notations must be typewritten or in ink. No erasures permitted. Mistakes may be corrected by crossing out wrong entry with correction placed adjacent and initialed in ink.
2. Specify brand or make on each item. If quoting article exactly as specified so state with words "as specified". If quoting on other than make, model or brand specify the manufacturer's name, and catalog number must be given, or descriptive cut and information attached to the quotation.
3. Quote each item separately. Prices should be stated in units specified herein.
4. Each bid must be in separate sealed envelope with quotation number on outside, and must be submitted to Oakdale Irrigation District, 1205 East F Street, Oakdale Ca 95361 by 2:00 p.m. on the day specified. At that specified time the bids will publicly be opened and read.
5. Time of delivery is a part of the consideration and must be stated in definite terms and must be adhered to. If time varies on different items, vendor will so indicate.
6. Terms of less than 15 days for each will be considered net in evaluating the quotation.
7. All quotations must be signed with the firm's name and by a responsible officer or employee. Obligations assumed by such signature sales or use taxes.
8. Unless otherwise definitely stated, the prices quoted herein do not include sales or use taxes.
9. No charges for transportation, containers, packing, etc. will be allowed unless so specified in your quotation.
10. The right is reserved to reject any, or all quotations, or to waive any informality in quotes, and to accept or reject any items thereon.
11. Samples of items, when required, must be furnished free of expense to the Oakdale Irrigation District and if not destroyed by tests will upon request be returned at the vendor's expense.
12. In case of default by the vendor, the Oakdale Irrigation District may procure the articles, or services from other sources, and may deduct from unpaid balance due the vendor, or may collect against the bond of surety for excess costs to paid, and the prices paid by the Oakdale Irrigation District shall be considered the prevailing market price at the time such purchase is made.
13. Cost of inspection on deliveries or offers for delivery, which do not meet specifications, will be charged to the account of the vendor.
14. The vendor shall hold harmless the Oakdale Irrigation District, its officers, agents, servants and employees, from liability of any nature or kind on account of use of any copyrighted or uncopyrighted composition, secret process patented or unpatented invention, article or appliance furnished or used under this quotation.
15. The vendor will not be held liable for failure or delay in fulfillment if hindered or prevented by fire, strikes or Acts of God. (FORCE MAJEURE).
16. Quotations are subject to acceptance at any time within 30 days after opening of same, unless otherwise stipulated.
17. Verify your quotations at any time within 30 days after opening of same, unless otherwise stipulated.
18. Verify your quotations before submission as they cannot be withdrawn, or corrected, after being opened.
19. Amount paid for transportation of property to the Oakdale Irrigation District is exempt from Federal Transportation Tax. An exemption certificate is not required where the shipping papers show the consignee as Oakdale Irrigation District, as such papers may be accepted by the carrier as proof of the exempt character of the shipment.
20. Unless otherwise specified, all equipment or articles shall be new and of the latest model; not used, remanufactured or reconditioned.
21. Unit price for each item offered shall include packing and shipping unless otherwise specified. A total shall be entered in the Amount column for each item offered. In case of discrepancy between the unit price and extended price, the unit price will be presumed to be correct.
22. Time will be of the essence for any orders placed as a result of this quotation. The Oakdale Irrigation District reserved the right to cancel such order(s) or any part thereof, without obligation, if delivery is not made within the time(s) specified on the quotation form.



OAKDALE IRRIGATION DISTRICT
TWO (2) EACH ½ TON, 2017 2-WHEEL DRIVE, FULL SIZE PICKUP

Item No. 001 – Two (2) Each ½ Ton, 2017 Model, 2-Wheel Drive, Full Size Pickup
Specifications:

- 119" - 126" Wheelbase or equivalent
- Regular Cab – Two Door
- GVW: 6,000 lbs. or equivalent
- Engine: 3.5L to 4.3L V-6, gasoline fuel injection and California Emissions Compliant
- Transmission: Automatic with overdrive
- Rear axle: 3:23 - 3:55 ratio (or equivalent) with posi-traction/limited slip
- Shock absorbers: Heavy duty, gas charged
- Electrical system: Heavy duty alternator
- Battery: Heavy duty 600 cold cranking amps/120 minutes reserve
- Engine cooling system: Heavy duty with coolant recovery
- Power steering: Full Time
- Power brakes: Disc front and rear with 4-wheel ABS anti-lock
- Gauges: Full gauge package; fuel, water temperature, oil pressure and charging system and Drivers Information Center (DIC)
- Power windows and door locks
- Electric exterior mirrors: Low mount and swing away
- Heater/air conditioner: CFC free
- Paint: Single color white
- Interior: Cloth bench seat 40/20/40 split (Gray or Tan), center console storage, rubber mat, no carpet and dual air bags
- AM/FM radio with clock and CD player
- Bumpers: Front – standard or painted, Rear – standard step style
- Trailer tow package with 7-blade RV plug

Item No. 001 – Two (2) Each ½ Ton, 2017 Model, 2-Wheel Drive, Full Size Pickup Specifications - Continued:

- Tires and wheels: Five full size wheels and tires (245/70R17, All Terrain BSW, load range C or better).
- Vehicles to be equipped with Bluetooth wireless communication.
- Vehicles to be delivered to OID Yard: 1205 East F Street, Oakdale, CA 95361
- Vehicle maintenance/repair manual and parts manual to be provided at the time of delivery.
- Vehicle Warranty: Minimum of 125,000 mile/5 year warranty bumper to bumper coverage.



OAKDALE IRRIGATION DISTRICT
ONE (1) EACH ½ TON, 2017 4-WHEEL DRIVE, FULL SIZE PICKUP

Item No. 002 – One (1) Each ½ Ton, 2017 Model, 4-Wheel Drive, Full Size Pickup
Specifications:

- 119" - 126" Wheelbase or equivalent
- Regular Cab – Two Door
- GVW: 6,000 lbs. or equivalent
- Engine: 3.5L to 4.3L V-6, gasoline fuel injection and California Emissions Compliant
- Transmission: Automatic with overdrive
- Rear axle: 3:23 - 3:55 ratio (or equivalent) with posi-traction/limited slip
- Shock absorbers: Heavy duty, gas charged
- Electrical system: Heavy duty alternator
- Battery: Heavy duty 600 cold cranking amps/120 minutes reserve
- Engine cooling system: Heavy duty with coolant recovery
- Power steering: Full Time
- Power brakes: Disc front and rear with 4-wheel ABS anti-lock
- Gauges: Full gauge package; fuel, water temperature, oil pressure and charging system and Drivers Information Center (DIC)
- Power windows and door locks
- Electric exterior mirrors: Low mount and swing away
- Heater/air conditioner: CFC free
- Paint: Single color white
- Interior: Cloth bench seat 40/20/40 split (Gray or Tan), center console storage, rubber mat, no carpet and dual air bags
- AM/FM radio with clock and CD player
- Bumpers: Front – standard or painted, Rear – standard step style
- Trailer tow package with 7-blade RV plug

Item No. 002 – One (1) Each ½ Ton, 2017 Model, 4-Wheel Drive, Full Size Pickup Specifications - Continued:

- Tires and wheels: Five full size wheels and tires (245/70R17, All Terrain BSW, load range C or better).
- 4-Wheel Drive
- Vehicles to be equipped with Bluetooth wireless communication.
- Vehicles to be delivered to OID Yard: 1205 East F Street, Oakdale, CA 95361
- Vehicle maintenance/repair manual and parts manual to be provided at the time of delivery.
- Vehicle Warranty: Minimum of 125,000 mile/5 year warranty bumper to bumper coverage.



OAKDALE IRRIGATION DISTRICT

TWO (2) EACH 3/4 TON, 2017 4-WHEEL DRIVE, FULL SIZE PICKUP

Item No. 003 – Two (2) Each 3/4 Ton, 2017 Model, 4-Wheel Drive, Full Size Pickup Specifications:

- 133" - 142" Wheelbase or equivalent.
- Regular Cab – Two Door
- GVW: 10,000 lbs. or equivalent
- Engine: 6.0L to 6.2L V-8, gasoline fuel injection and California Emissions Compliant
- Transmission: Automatic with overdrive
- Rear axle: 3:73 to 4:10 ratio (or equivalent) with locking differential
- Shock absorbers: Heavy duty
- Electrical system: Heavy duty alternator
- Battery: Heavy duty 600 cold cranking amps/120 minutes reserve
- Engine cooling system: Heavy duty with coolant recovery
- Power steering: Full Time
- Power brakes: Disc front and rear with 4-wheel ABS anti-lock
- Gauges: Full gauge package; fuel, water temperature, oil pressure and charging system and Drivers Information Center (DIC)
- Power windows and door locks
- Electric exterior mirrors: Low mount and swing away
- Heater/air conditioner: CFC free
- Paint: Single color white
- Interior: Cloth bench seat 40/20/40 split (Gray or Tan), center console storage, rubber mat, no carpet and dual air bags
- AM/FM radio with clock and CD player
- Bumpers: Front – standard or painted, Rear – standard step style
- Trailer tow package with 7-blade RV plug

Item No. 003 – Two (2) Each 3/4 Ton, 2017 Model, 4-Wheel Drive, Full Size Pickup Specifications - Continued:

- Tires and wheels: Five full size wheels and tires (LT265/70R17), All Terrain BSW.
- 4-Wheel Drive
- Manual Locking Hubs
- Vehicles to be equipped with Bluetooth wireless communication.
- Vehicles to be delivered to OID Yard: 1205 East F Street, Oakdale, CA 95361
- Vehicle maintenance/repair manual and parts manual to be provided at the time of delivery.
- Vehicle Warranty: Minimum of 125,000 mile/5 year warranty bumper to bumper coverage.



OAKDALE IRRIGATION DISTRICT
ONE (1) EACH 2017 CREW TRUCK (CAB AND CHASSIS)
169" WHEELBASE

Item No. 004 – Crew Truck (Cab & Chassis) Specifications:

- 169" Wheelbase or equivalent
- 17,500 lb. GVWR
- 4-Wheel drive, manual locking hubs
- Diesel engine (6.0 liter or greater)
- Heavy duty cooling
- Heavy duty alternator, 140 amps or equivalent with battery upgrade
- Automatic transmission with overdrive
- Limited slip rear axle
- Power steering
- Transfer case skid plate, two speed transfer case, manual locking hubs
- Front tow hooks (2)
- Seven (7) wire harness
- Paint – single color white
- Regular pickup style cab
 - Air conditioning
 - Manual telescoping mirrors
 - Dual air bags
 - AM / FM clock radio
 - Bench seat (three (3) seat belts)
 - Four (4) Pre-wired switches in dash
 - Rubber mats
- Tires and wheels
 - 255/70 R 19.5 aggressive tread tires - quantity seven (7)
 - Load Range F
- Extended bumper to bumper Warranty 5 year/125,000 miles
- Include vehicle service and parts manuals



1205 East F Street, Oakdale, CA 95361 - 209-847-0341 - Fax: 209-847-3468 - www.oakdaleirrigation.com

Received

JAN 31 2017

REQUEST FOR BID

THIS IS NOT AN ORDER

Oakdale ID
Counter

Bid Number: 2017-001
Date Mailed: 01/13/2017
Return No Later Than: 2 P.M. on 01/31/2017

Handwritten initials and signature

Instructions:

1. Read Instructions and conditions on reverse side before quoting.
2. Quote on each item separately, you are not required to quote on all items to provide a bid.
3. Specify how many are in the unit of the product you are quoting.
4. State warranty period, if any, on equipment and maintenance agreement terms.
5. Price quoted FOB destination, unless otherwise stated.
6. Complete and sign all pages of the quotation. Any unsigned quotation will be considered non-responsive and void.
7. Return this form and all attachments, keeping one copy for your reference. Show bid number on outside of envelope if one is given.

Send a price on the following: If the price (s) does not include shipping, quote estimated shipping cost. If you are the qualifying low bid, you will be notified by phone or mail within 14 days or less.

| Item No. | Qty | Unit | Description | Mfg Brand and or Trade Name | Unit Price | Amount |
|--|-----|------|--|-----------------------------|--|-----------|
| 001 | 2 | Ea. | 2017 Model, 1/2 Ton, Full Size, Regular Cab 2-Door Pickup Two-Wheel Drive | | 24,575.10 | 49,150.20 |
| 002 | 1 | Ea. | 2017 Model, 1/2 Ton, Full Size, Regular Cab 2-Door Pickup Four-Wheel Drive | | 27,349.63 | 27,349.63 |
| 003 | 2 | Ea. | 2017 Model, 3/4 Ton, Full Size, Regular Cab 2-Door Pickup Four-Wheel Drive | | 30,951.78 | 61,903.56 |
| 004 | 1 | Ea. | 2017 Model, Cab & Chassis, 169" Wheelbase Four-Wheel Drive | | 53,914.25 | 53,914.25 |
| <p>See the attached specification sheets for details.</p> <p>Include and specify ALL fees.</p> <p>Include documentation and licensing.</p> <p>All taxes included.</p> <p>Quote each item separately.</p> <p>Provide ETA to Oakdale Irrigation District for delivery.</p> <p>Price quoted is FOB destination.</p> <p>Return Bid to the Attention of: Jason R. Jones, Support Services Manager Oakdale Irrigation District 1205 East F Street Oakdale, CA 95361</p> <p>Please call Jason Jones at (209) 840-5535 or email at jjones@oakdaleirrigation.com. If there are any questions or clarifications need.</p> | | | | | <p>Quoted prices include Sales tax, fees and Extended Service Plans. Units should be in Oakdale by end of April.</p> | |

VENDOR IS REQUIRED TO PROVIDE A COMPLETED MSDS (MATERIAL SAFETY DATA SHEET) FOR HAZARDOUS SUBSTANCES. THIS IS REQUIRED BY LABOR CODE SECTION 6382 AND 6090 GENERAL INDUSTRIAL SAFETY ORDER SECTION 519, TITLE 8 CA ADMIN CODE, MSDS SHEET FOR EACH SPECIFIED ITEM SHALL BE SENT TO PLACE OF SHIPMENT.

We agree to furnish the above articles and/or services at the price shown and terms stated, subject to the instructions and conditions on both sides of this form.

Company Name: Haider Ford
Address: 1355 East F St Oakdale CA
Authorized Signature: [Signature]
Title: VP
Phone: 209 847 0356 800 No. _____
Fax No.: _____

Business License No.

941595607

Federal ID No.

SRKHC 286023029

Ca. Sales or Use Tax
Permit No.

Subject to cash discount of 0 % in 0 days

Cash Discount of less than 15 days will be considered net. Quotations are FOB

Delivered unless otherwise specified

Complete delivery will be made in _____ days from receipt of order unless otherwise indicated



1205 East F Street, Oakdale, CA 95361- 209-847-0341 - Fax: 209-847-3468 - www.oakdaleirrigation.com **Jan 31 2017**

REQUEST FOR BID

THIS IS NOT AN ORDER

Received

Oakdale ID
Counter

Bid Number: 2017-001
Date Mailed: 01/13/2017
Return No Later Than: 2 P.M. on 01/31/2017

Instructions:

1. Read Instructions and conditions on reverse side before quoting.
2. **Quote on each item separately, you are not required to quote on all items to provide a bid.**
3. Specify how many are in the unit of the product you are quoting.
4. State warranty period, if any, on equipment and maintenance agreement terms.
5. Price quoted FOB destination, unless otherwise stated.
6. Complete and sign all pages of the quotation. Any unsigned quotation will be considered non-responsive and void.
7. Return this form and all attachments, keeping one copy for your reference. Show bid number on outside of envelope if one is given.

Send a price on the following: If the price (s) does not include shipping, quote estimated shipping cost. If you are the qualifying low bid, you will be notified by phone or mail within 14 days or less.

| Item No. | Qty | Unit | Description | Mfg Brand and or Trade Name | Unit Price | Amount |
|---|-----|------|--|-----------------------------|------------|-----------|
| 001 | 2 | Ea. | 2017 Model, ½ Ton, Full Size, Regular Cab 2-Door Pickup Two-Wheel Drive | | 25,352.50 | 50,705.00 |
| 002 | 1 | Ea. | 2017 Model, ½ Ton, Full Size, Regular Cab 2-Door Pickup Four-Wheel Drive | | 28,593.00 | 28,593.00 |
| 003 | 2 | Ea. | 2017 Model, ¾ Ton, Full Size, Regular Cab 2-Door Pickup Four-Wheel Drive | | 32,858.46 | 65,716.92 |
| 004 | 1 | Ea. | 2017 Model, Cab & Chassis, 169" Wheelbase Four-Wheel Drive | | N/A | N/A |
| See the attached specification sheets for details. | | | | | | |
| Include and specify <u>ALL</u> fees. | | | | | | |
| Include documentation and licensing. | | | | | | |
| All taxes included. | | | | | | |
| Quote each item separately. | | | | | | |
| Provide ETA to Oakdale Irrigation District for delivery. | | | | | | |
| Price quoted is FOB destination. | | | | | | |
| Return Bid to the Attention of: Jason R. Jones, Support Services Manager Oakdale Irrigation District 1205 East F Street Oakdale, CA 95361 | | | | | | |
| Please call Jason Jones at (209) 840-5535 or email at jones@oakdaleirrigation.com . If there are any questions or clarifications need. | | | | | | |

* CD player not available for order on vehicles

VENDOR IS REQUIRED TO PROVIDE A COMPLETED MSDS (MATERIAL SAFETY DATA SHEET) FOR HAZARDOUS SUBSTANCES. THIS IS REQUIRED BY LABOR CODE SECTION 6382 AND 6090 GENERAL INDUSTRIAL SAFETY ORDER SECTION 519, TITLE 6 CA ADMIN CODE. MSDS SHEET FOR EACH SPECIFIED ITEM SHALL BE SENT TO PLACE OF SHIPMENT.

We agree to furnish the above articles and/or services at the price shown and terms stated, subject to the instructions and conditions on both sides of this form.

Company Name: Stevens Chevrolet
Address: 1285 East F St Oakdale Ca 95361
Authorized Signature: [Signature]
Title: Alan Berg Fleet Manager
Phone: (209) 847-2261 800 No. (800) 660-2261
Fax No.: (209) 847-8653

17-00001888
Business License No.

94-2268550
Federal ID No.

SRDHJ 41608140
Ca. Sales or Use Tax Permit No.

Subject to cash discount of ____ % in ____ days

Cash Discount of less than 15 days will be considered net. Quotations are FOB

Delivered unless otherwise specified

Complete delivery will be made in 120 days from receipt of order unless otherwise indicated



OAKDALE IRRIGATION DISTRICT

| Bid No. 2017-001 OID Vehicles | | | | | | | | | |
|--|--|----------|------------------|----------|--------------|---------------|----------|--------------|--|
| Description | | Item No. | BIDDER'S NAME | | | | | | |
| | | | Steves Chevrolet | | | Haidlen Ford | | | |
| | | | Unit Cost | Quantity | Amount | Unit Cost | Quantity | Amount | |
| 2017 Model 1/2 Ton Full Size, Regular Cab 2-Door Pickup Two-Wheel Drive | | 1 | \$ 25,352.50 | 2 | \$ 50,705.00 | \$ 24,575.10 | 2 | \$ 49,150.20 | |
| 2017 Model 1/2 Ton Full Size, Regular Cab 2-Door Pickup Four-Wheel Drive | | 2 | \$ 28,593.00 | 1 | \$ 28,593.00 | \$ 27,349.63 | 1 | \$ 27,349.63 | |
| 2017 Model, 3/4 Ton, Full Size, Regular Cab 2-Door Pickup Four-Wheel Drive | | 3 | \$ 32,858.46 | 2 | \$ 65,716.92 | \$ 30,951.78 | 2 | \$ 61,903.56 | |
| | | | | | | | | | |
| | | Bid | \$ 145,014.92 | | | \$ 138,403.39 | | | |
| Conformed Bid Amount Total | | | \$ 145,014.92 | | | \$ 138,403.39 | | | |

Notes:



Stiles Truck Body & Equipment, Inc.

P.O. Box 507 Turlock CA 95381-0507
701 S Golden State Blvd. Turlock CA 95380
Phone: 209-667-2639 FAX: 209-667-2746
website: www.stilestruckbody.com

Estimate

| Date | Estimate # |
|-----------|------------|
| 1/27/2017 | 22704-SRS |

| |
|---|
| Name / Address |
| Oakdale Irrigation District Attn: David Skokan 1205 East F Street Oakdale CA 95361 |

| Terms | | Rep |
|-------------|--------------|-----|
| Net 10 Days | | SRS |
| Fax Number | Phone Number | |
| | 847-0341 | |

| Description | Quantity | Unit Price | Total |
|--|---------------------------|------------|------------|
| Crew Truck Body Package, as per OID specifications: - Stiles Truck Body custom flatbed platform built to be 12' long x 96" wide. - 1-1/8" Apitong hardwood flooring - 10 Gauge smooth steel rub rail exterior w/ 4" I-Beam crossmembers on 12" centers and 4" channel iron long beams - No stake pockets installed - Tapered Headboard, 1/2 and 1/2 - Custom overhead removable (bolt-on) lumber/pipe rack to be shortened to stop forward of the crane mount pedestal 49" Cab-over extension to cover truck cab with perforated or expanded metal Rack to be forklift accessible from the driver's side of the vehicle Rack to have 3" x 2" rectangular tubing lateral side rail supports in order to provide rigidity and support to rack cross bars Rack to be supported by 2" x 2" square tubing legs with 2" x 2" square tubing crossbars. No 2 and No 3 crossbars to be of removable design - (2) #7980A Ecco amber LED beacons installed onto the overhead rack, one per side and wired to a cab switch - (2) #5480005 Buyers rack straps installed, two straps per side - (2) #TBA9618A Knapheide Roughneck open-top steel tool boxes, 96" x 18" x 18" and to be located one per side, at the forward corners of the flat bed, flush to the headboard - (2) #TBU-6018A Knapheide Roughneck steel under body tool boxes, 60" x 18" x 18" and to be mounted one per side, under the forward corners of the bed, flush to the headboard - 12" High fold-down side & rear gate racks, built from steel stakes, hardwood slats, Buyers hinges and western gate latches - V-Type tail apron w/ 4" round light hole patten and 2-1/2" marker light holes - Grommet mounted LED light kit installed and wired to the chassis harness w/ resistors as needed - (2) #FS2797 Buyers large folding steps installed onto the rear apron, one low and one high for climbing into the back of flatbed - Full width ICC under-ride rear bumper, modified to allow for the rear gate racks to hinge down. - 1/2" Buck plate type heavy duty hitch, installed and reinforced to the truck frame w/ (1) #PH-15 Buyers 15-ton pintle hitch set @ 22" saddle height and (2) #B-50 5/8" d-rings. - 2" Receiver type hitch installed below the pintle hitch and reinforced to the buck plate & truck frame | 1 | 39,750.00 | 39,750.00T |
| Upon acceptance of bid, please sign one copy of this estimate and return to us for our records, along with any required deposits or signed purchase orders. This Contract is void 30 days from date, unless one copy is signed and returned to bidder. Please Note: There are NO Returns on special order, non-stocked part. Special orders require a non-refundable deposit. A 25% restocking charge may apply on all other returns. | Subtotal | | |
| | Sales Tax (8.125%) | | |
| | Total | | |

Customer Signature _____

Sales Representative Signature _____



Stiles Truck Body & Equipment, Inc.

P.O. Box 507 Turlock CA 95381-0507
701 S Golden State Blvd. Turlock CA 95380
Phone: 209-667-2639 FAX: 209-667-2746
website: www.stilestruckbody.com

Estimate

| Date | Estimate # |
|-----------|------------|
| 1/27/2017 | 22704-SRS |

| |
|---|
| Name / Address |
| Oakdale Irrigation District Attn: David Skokan 1205 East F Street Oakdale CA 95361 |

| Terms | | Rep |
|-------------|--------------|-----|
| Net 10 Days | | SRS |
| Fax Number | Phone Number | |
| | 847-0341 | |

| Description | Quantity | Unit Price | Total |
|--|---------------------------|------------|-------------|
| <ul style="list-style-type: none">- (1) 7-Wire RV light plug, wired to code.- Flatbed, rack, boxes and under-ride bumper painted WHITE, using Sherwin Williams 2 8 VOC polyurethane- One year warranty on parts and workmanship- Installation of flatbed onto Ford F-450/550 DRW chassis w/ 84" cab-to-axle Department of Transportation Certification Fee ADDITIONAL EQUIPMENT TO BE INSTALLED: <ul style="list-style-type: none">- #ET-12KX Venturo Electric / Hydraulic Truck Crane w/ 3,500 Lbs lifting capacity.- Crane to be installed onto a 21" tall pedestal located at the right side rear of flatbed- Cut and remove the wood below the mounting pedestal and install a plate steel base onto the crossmembers Reinforce the crane mount to the truck frame- (2) Folding drop-leg type outrigger jacks installed one per side behind the rear tires Custom build the folding jack mounts as per OID specs- Install a boom rest off of the side of the overhead rack- Custom stake box, built from 2" angle iron w/ smooth steel backing and installed below the deck on the left side rear of truck Approximate dimensions to be 16" wide x 9" high x 32" deep and installed at an angle to match the rear apron- Custom torch set box, installed onto the left side rear of flatbed to hold a mini-torch set Box to have a left side hinged swing out door w/ latch and to be approximately 28" high x 21" wide x 12" deep (11" usable clear depth required)- Custom spare cylinder storage, made from 6" ID steel pipe, 20" tall w/ a hinged cap and installed behind the torch box- Custom shovel/tool basket 12" high x 24" wide x 69" long (if possible) secured off the bottom of the overhead rack behind the headboard Fold down doors mounted on the ends for easy access and western gate latch door closure Perforated metal construction w/ 1" or 1-1/2" angle iron frame- Custom stainless steel water tank built to customer specified size w/ (1) 2" filler bung located on top right hand side (passenger side for fill) and (1) 1" bungs to be located TBD Tank to be mounted in the bed centered between the two tool boxes behind the headboard. TERMS: NET 10 DAYS | | 65.00 | 65.00 |
| Upon acceptance of bid, please sign one copy of this estimate and return to us for our records, along with any required deposits or signed purchase orders. This Contract is void 30 days from date, unless one copy is signed and returned to bidder. Please Note: There are NO Returns on special order, non-stocked part Special orders require a non-refundable deposit. A 25% restocking charge may apply on all other returns | Subtotal | | \$39,815.00 |
| | Sales Tax (8.125%) | | \$3,229.69 |
| | Total | | \$43,044.69 |

Customer Signature _____

Sales Representative Signature _____

BOARD AGENDA REPORT

Date: February 7, 2017
Item Number: 7
APN: N/A

SUBJECT: APPROVE WORK RELEASE NO. 008 TO PROFESSIONAL SERVICES AGREEMENT 2011-PSA-008 WITH DAVIDS ENGINEERING TO UPDATE THE WATER BALANCE OF THE AGRICULTURE WATER MANAGEMENT PLAN

RECOMMENDED ACTION: Authorize General Manager to execute Work Release No. 008 to 2011-PSA-008

BACKGROUND AND/OR HISTORY:

A water balance for 2005 through 2014 was developed for the 2015 OID Agricultural Water Management Plan (AWMP). It provides an accounting of all inflows to and outflows from the District's distribution system, farm lands, and drainage system, as well as for the District as a whole. As expected, the accounting reveals that water balance flow paths vary from month to month and from year to year. This variability is driven largely by changes in irrigation demand but may also be impacted by changes in OID operations and in water supply conditions. In order to understand the effects of these factors over time, as well as to account for and document water use for water rights protection, it is advisable to periodically update water balance calculations (i.e., annually or every few years). To better understand OID water management during droughts and support the ET Study, it is recommended that the OID water balance be updated to include water years 2015 and 2016. Technical analyses supporting the update will be completed on or about July 1, 2017.

Davids Engineering will perform said professional services on a Time and Material basis for a Not to Exceed Amount of \$34,509.00. Staff recommends that the Board authorize the General Manager to execute the Work Release No. 008 for professional services as described above and outlined in the attached Exhibit "A".

FISCAL IMPACT: \$34,509.00 Not to Exceed Amount

ATTACHMENTS:

- Work Release No. 008 including Exhibit "A"
-

Board Motion:

Motion by: _____ **Second by:** _____

VOTE:

Webb (Yes/No) Doornenbal (Yes/No) Osmundson (Yes/No) Altieri (Yes/No) Santos (Yes/No)

Action(s) to be taken:



Work Release #008
2015/16 Water Balance Update for the
Agricultural Water Management Plan

Description

The Oakdale Irrigation District (OID) prepared the first publication of the Agriculture Water Management Plan (AWMP) in 2004. SBx 7-7 requires that the AWMP be updated every five years, with the latest update completed and adopted in December, 2015. Water Balances are the essential foundation for effective water resource planning and management. The update to the Water Balance portion of the OID AWMP will consist of three tasks outlined below.

Scope of Work

The total Scope of Work will consist of three tasks of which are outlined below and defined in the attached Exhibit "A".

- Task 1: Compile and Review Data for Water Balance Update
- Task 2: Update OID Water Balance
- Task 3: Update OID AWMP Water Balance Section

Contractually, Davids Engineering, Inc.'s contact will be Mr. Eric Thorburn, P.E., Water Operations Manager. Mr. Thorburn can be reached at his direct office number, (209) 840-5525.

Pricing & Schedule

Provide the necessary resources, i.e. equipment, labor, supervision, materials, etc. to perform the services as described in the Scope of Work and in the attached Exhibit "A". All work will be on a Time and Material basis with the rates per the Professional Services Agreement 2011-PSA-008 and a **Not-To-Exceed** amount as shown for the Scope of Work.

Not to Exceed Amount for Tasks 1-3 **\$ 34,509.00**

The work is to start immediately and be completed on or about July 1, 2017.

Terms and Conditions:

All Terms and Conditions for Work Release No. 008 will remain in effect as identified in the **Professional Services Agreement 2011-PSA-008**.

WORK RELEASE No. 008
SCOPE OF WORK (Cont'd)

Oakdale Irrigation District

By: _____

Name: Steve Knell, P.E.

Title: General Manager

Date: _____

Davids Engineering, Inc.

By: _____

Name: Grant Davids, P. E.

Title: President

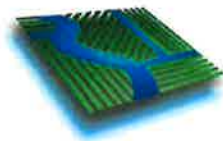
Date: _____

Exhibit "A"

Proposal for 2015 and 2016 Water Balance Update for



Prepared by



DAVIDS
ENGINEERING, INC

1772 Picasso Ave., Suite A
Davis, CA 95616-0550

January 2017

Introduction

Water balances are the essential foundation for effective water resource planning and management. A water balance must account for all water inflows and outflows to a defined area for a defined time, just like financial accounting procedures must account for all income and expenditures over time. The OID water balance supports OID's Agricultural Water Management Plan (AWMP), initially adopted in 2012, updated in 2015 and required by SBx7-7 to be updated again by December 31, 2020. Additionally, the OID water balance informs OID's groundwater management and other OID water management initiatives and processes.

A water balance for 2005 through 2014 was developed for the 2015 OID AWMP. It provides an accounting of all inflows to and outflows from the District's distribution system, farm lands, and drainage system, as well as for the District as a whole. As expected, the accounting reveals that water balance flow paths vary from month to month and from year to year. This variability is driven largely by changes in irrigation demand but may also be impacted by changes in OID operations and in water supply conditions. In order to understand the effects of these factors over time, as well as to account for and document water use for water rights protection, it is advisable to periodically update water balance calculations (i.e., annually or every few years). To better understand OID water management during droughts and support the ET Study, it is recommended that the OID water balance be updated to include water years 2015 and 2016. Technical analyses supporting the update will be completed by mid 2017.

The following section discusses the proposed scope, budget, and schedule for completion of the 2015 and 2016 Water Balance Update.

Scope of Services

Task 1: Compile and Review Data for Water Balance Update

- 1.1. Assemble available data from OID and other sources, including the following:
 - Update GIS datasets where necessary– Most recent DWR land use surveys, OID distribution system and drains, OID wells and lift pumps, boundary outflow points, miscellaneous base data (imagery, roads, natural waterways, etc.)
 - OID flow data (2015 through 2016) – river diversions, transfers, District groundwater pumping, District drain pumping, boundary outflows
 - OID annual cropping records (2015 through 2016)
 - OID seepage test data (2015 through 2016), if available
 - CIMIS and NWS weather data for estimation of reference ET and precipitation (2015 through 2016)

Task 2: Update OID Water Balance (2015 through 2016)

- 2.1. Crop Evapotranspiration and Precipitation Analysis
 - Quality control weather data
 - Assemble time series of acres by crop
 - Configure and run IDC

- Review results; compare to prior water balance(s)
- 2.2. Canal and Drain System Seepage Analysis
 - As necessary, review and update reach lengths, wetted perimeters, lining status, and days of operation
 - Where lining status has changed, query underlying soil and assign estimated seepage rate
 - Calculate seepage volumes over time
- 2.3. Canal and Drain Riparian ET and Evaporation Analysis
 - As necessary, review and update reach lengths, wetted surface widths, and days of operation
 - Compute riparian ET over time
 - Compute evaporation, net of precipitation, over time
- 2.4. Boundary Outflows Analysis
 - Incorporate additional measurement sites into analysis, if applicable
 - Review and, if necessary, revise correlations among sites to gap-fill incomplete site records within and across years
 - Review and, if necessary, revise OID analysis identifying drainage watershed areas represented by sites with records and sites without records
 - Review and, if necessary, revise rules/assumptions for grouping of measured and unmeasured sites based on similarities in soils, topography, farming practices, distribution system operations, etc. through consultation with OID
 - Estimate unmeasured outflows and assemble record of total boundary outflows over time
- 2.5. Farm Deliveries Analysis
 - Subject to availability, review farm delivery data from OID and characterize deliveries relative to crop ET for major crops
 - Expand estimated farm deliveries to all of OID and calculate farm deliveries over time
- 2.6. Perform monthly water balance calculations for Water Years 2015 - 2016 and evaluate results
 - Assemble complete time series datasets for all measured and estimated flow paths
 - Review monthly and seasonal results and identify anomalies or trends.
 - Review and, if necessary, revise uncertainty estimates associated with individual flow paths and water balance closure terms
 - Summarize water balance results for the update period and compare different year types (e.g., wet vs. dry years) within the total analysis period (2005-2016).
 - Plan and conduct a ½- day workshop with OID staff to review water balance results

Task 2 Assumptions:

1. Farm deliveries not measured during the analysis period will be calculated as the closure term for the distribution system water balance accounting center.
2. Deep percolation of applied water will be calculated as the closure term of the farmed lands accounting center.
3. Tailwater from farmed lands will be calculated as the closure term of the drainage system accounting center.

Task 3: Update OID AWMP Water Balance Section

- 3.1. Document results of Tasks 1 and 2 in a detailed Appendix supporting update of the OID AWMP, including any revisions to the following:
- Water balance structure (if any)
 - Selection of time period of analysis
 - Flow path data sources, estimation methods, estimated uncertainties
 - Summary of water balance results for analysis period as a whole and differing year types

Budget

The estimated budget required to prepare the OID 2015 and 2016 Water Balance Update (tasks 1 through 3) is \$34,509. For budgeting purposes, a detailed task budget was prepared and is provided in Table 1. While estimated costs are based on a detailed, task by task buildup, actual project costs will not be tracked on a task basis nor will individual task budgets constrain charges for work performed up to the total estimated budget.

Table 1. Detailed Task Budget for Preparation of OID 2015 and 2016 Water Balance Update.

| Project Task/Subtask | Labor Costs | | | | | | | Direct Costs | | Total Cost (\$) | | |
|--|----------------------------|--------------------------------|---------------------------|------------------------------|-----------------------------|---------------------------|---------------------------|----------------------------|----------------------------|-----------------|----------|----------|
| | Labor Hours by Staff Level | | | | | | Labor Costs Subtotal (\$) | Cost Item | Direct Costs Subtotal (\$) | | | |
| | Principal Engineer | Supervising Engineer/Scientist | Senior Engineer/Scientist | Associate Engineer/Scientist | Technical/Project Assistant | Secretary/Clerical II | | Miscellaneous | | | | |
| | | | | | | | | | | | | |
| | | | | | | | | | | | | |
| | | | | | | | | | | | | |
| Hourly Rates | | | | | | Labor Costs Subtotal (\$) | at cost | Direct Costs Subtotal (\$) | | | | |
| \$202 | \$183 | \$168 | \$155 | \$91 | \$83 | | | | | | | |
| Task 1: Compile and Review Historical Data (2015-2016) | | | | | | | | | | | | |
| 1.1. Assemble available OID and other data | | | 4 | 16 | 32 | | | \$8,380 | | \$0 | \$8,380 | |
| Task 1 Subtotals | | 0 | 4 | 16 | 32 | | 0 | 0 | \$8,380 | \$0 | \$0 | \$8,380 |
| Task 2: Update OID Water Balance | | | | | | | | | | | | |
| 2.1. Crop ET and precipitation analysis | | 1 | 6 | 10 | 16 | | | \$5,460 | | | \$0 | \$5,460 |
| 2.2. Canal and drain seepage analysis | | | 1 | 4 | 2 | | | \$1,165 | | | \$0 | \$1,165 |
| 2.3. Canal and drain riparian ET and evaporation analysis | | | 1 | 4 | 2 | | | \$1,165 | | | \$0 | \$1,165 |
| 2.4. Boundary outflows analysis | | 1 | 3 | 8 | 8 | | | \$3,335 | | | \$0 | \$3,335 |
| 2.5. Farm deliveries analysis | | 1 | 4 | 6 | 24 | | | \$5,662 | | | \$0 | \$5,662 |
| 2.6. Perform monthly water balance calculations; evaluate results; plan and conduct 1/2 day workshop | | 2 | 8 | 12 | 16 | 2 | 2 | \$6,712 | \$107 | \$107 | \$6,819 | |
| Task 2 Subtotals | | 5 | 23 | 44 | 68 | | 2 | 2 | \$23,499 | \$107 | \$107 | \$23,606 |
| Task 3: Update OID Water Balance Plan Section | | | | | | | | | | | | |
| 3.1. Document results of Tasks 1 and 2 in AWMP appendix | | 1 | 1 | 8 | 4 | 1 | 1 | \$2,523 | | | \$0 | \$2,523 |
| Task 3 Subtotals | | 1 | 1 | 8 | 4 | 1 | 1 | \$2,523 | \$0 | | \$0 | \$2,523 |
| Total (Tasks 1 - 3) | | 6 | 28 | 68 | 104 | 3 | 3 | \$34,402 | \$107 | \$107 | \$34,509 | |

Schedule

| Schedule | |
|----------|--|
| Task # | Task Description |
| 1 | Compile and Review Historical Data (2015-2016) |
| 2 | Update O/D Water Balance |
| 3 | Update O/D Water Balance Plan Section |
| | Deliverables |
| | |

A OJD Water Balance Staff Workshop

B First complete draft of Water Balance Update data and documentation

Appendix A: Summary of Data Sources for OID Water Balance Update

The following provides a summary of data series for the OID water balance update, anticipated data sources, and required supporting data.

| Data Description | Source | Supporting Data |
|---|-------------------------|--|
| River Diversions | OID | None |
| Entitlements/Transfers | OID | None |
| District Groundwater Pumping | OID | None |
| District Drain Pumping | OID | None |
| Canal Seepage | DE Analysis | GIS coverage of distribution system identifying lined sections, estimated wetted perimeters by reach, NRCS soils data, OID seepage test data, days of operation by reach and month |
| Spillage | OID | Operational spill measurements and % of area represented. |
| Canal Riparian ET | DE Analysis | GIS coverage of distribution system, Most recent DWR land use survey |
| Canal Evaporation | DE Analysis | GIS coverage of distribution system, estimated wetted surface widths by reach, days of operation by reach and month |
| Farm Deliveries | OID | OID delivery records, as available, with DE analysis |
| District Tailwater Reuse | DE Analysis | Area draining to distribution system, estimated tailwater production per acre |
| Precipitation | CIMIS/NWS | None |
| Crop Coefficients | DE Analysis | ET data for northern San Joaquin Valley |
| Reference ET | CIMIS | None |
| Crop ET _{aw} vs. Crop ET _{pr} | DE Analysis | Soils parameters from NRCS soils analysis for input to IDC |
| Private Pumping | DE Analysis | Estimated GW only area, estimated ET _{aw} and CCUF |
| Deep Perc. of Precip. | DE Analysis | Soils parameters from NRCS soils analysis for input to IDC |
| Deep Perc. of Applied Water | DE Analysis | Soils parameters from NRCS soils analysis for input to IDC |
| Farm Tailwater | Drainage System Closure | None |
| Runoff of Precip. | DE Analysis | Soils parameters from NRCS soils analysis for input to IDC |
| Private Drainwater Reuse | DE Analysis | OID list of properties with drainwater only, ET _{aw} and CCUF |
| Drain Evaporation | DE Analysis | GIS coverage of drains, estimated wetted surface widths by reach, days of flow by reach and month |
| Drain Riparian ET | DE Analysis | GIS coverage of drains, Most recent DWR land use survey |
| Drain Seepage | DE Analysis | GIS coverage of drains, estimated wetted perimeters by reach, NRCS soils data, OID seepage test data, days of flow by reach and month |
| Drain Interception | Assume Zero | None |
| Boundary Outflow | OID with DE Analysis | GIS coverage of outflow locations and drainage watersheds, OID outflow data |

BOARD AGENDA REPORT

Date: February 7, 2017
Item Number: 8
APN: N/A

SUBJECT: APPROVE WORK RELEASE NO. 063 TO PROFESSIONAL SERVICES AGREEMENT 2009-PSA-015 WITH GIULIANI & KULL, INC. FOR PROFESSIONAL SERVICES TO CONDUCT A BOUNDARY AND EASEMENT SURVEY AND PREPARE A PLAT AND LEGAL DESCRIPTION FOR A FOURTEEN FOOT ACCESS EASEMENT THROUGH APNS: 010-011-013/057/060/061/062/066, 011-001-035/036 & 002-023-013

RECOMMENDED ACTION: Authorize General Manager to Execute Work Release No. 063

BACKGROUND AND/OR HISTORY:

Work Release No. 063 will allow Giuliani & Kull to provide the necessary professional services to establish critical boundary points along subject property. Conduct a topographic route survey along the proposed easement alignment and tied to critical boundary points. Giuliani & Kull will import and analyze field collected survey data and prepare a plat and legal description(s) for a 14' access easement through the above noted parcels on the Lands of Trinitas.

Giuliani & Kull will perform said professional services on a Time and Material basis for an estimated amount of \$9,750.00. Staff recommends that the Board authorize the General Manager to execute the Work Release No. 063 for professional services noted above and as described in the attached Exhibit "A".

FISCAL IMPACT: Estimated amount: \$9,750.00

ATTACHMENTS:

- Work Release No. 063 including Exhibit "A"

Board Motion:

Motion by: _____ **Second by:** _____

VOTE:

Webb (Yes/No) Doornenbal (Yes/No) Osmundson (Yes/No) Altieri (Yes/No) Santos (Yes/No)

Action(s) to be taken:



Work Release #063

OID Access Easement through Lands of Trinitas (North & South) Plat and Legal Description and Boundary/Easement Route Survey APN's: 010-011-013/057/060/061/062/066, 011-001-035/036, 002-023-013

Description

The Oakdale Irrigation District (OID) requires Giuliani & Kull to conduct a Boundary and Easement Route Survey and prepare plat and legal descriptions for an easement 14' in width. Giuliani & Kull will perform the necessary research and provide the necessary resources for the calculations, fieldwork and drafting to prepare a plat and legal description for use as exhibits in an OID easement document. The plat and legal descriptions are for a new 14' easement for an access road through the above referenced parcels. See the attached Exhibit "A" for details, inclusions and exclusions.

Pricing & Schedule

Pricing to perform the Scope of Work described will be on a Time & Materials basis using the Hourly Rates in accordance with 2009-PSA-015 with an estimated cost as follows.

Task No. 1 – Boundary & Easement Route Survey

| | |
|----------------------------------|--------------------|
| Lands of Trinitas (South) | \$ 3,250.00 |
|----------------------------------|--------------------|

| | |
|----------------------------------|--------------------|
| Lands of Trinitas (North) | \$ 2,250.00 |
|----------------------------------|--------------------|

Task No. 2 – Easement Legal Description & Plat

| | |
|----------------------------------|--------------------|
| Lands of Trinitas (South) | \$ 2,500.00 |
|----------------------------------|--------------------|

| | |
|----------------------------------|---------------------------|
| Lands of Trinitas (North) | <u>\$ 1,750.00</u> |
|----------------------------------|---------------------------|

| | |
|-------------------------|--------------------|
| Estimated Total: | \$ 9,750.00 |
|-------------------------|--------------------|

The Work is to start and be completed as soon as possible.

WORK RELEASE No. 063 (Cont'd)

Terms and Conditions:

All Terms and Conditions for Work Release No. 063 will remain in effect as identified in the **Professional Services Agreement 2009-PSA-015**.

Oakdale Irrigation District

By: _____

Name: Steve Knell, P.E.

Title: General Manager

Date: _____

Giuliani & Kull, Inc.

By: _____

Name: Bill Kull

Title: President

Date: _____

Exhibit "A"



January 24, 2017

Eric Thorburn
Oakdale Irrigation District
1205 E. F Street
Oakdale, CA 95361

Subject: Proposal for Surveying Services
O.I.D. Access Easement through Lands of Trinitas (South)

Dear Mr. Thorburn:

We are pleased to offer the attached estimate for surveying services associated with creating 14' access easement through those lands of Trinitas defined below:

- APN 010-011-013, 057, 060, 061, 062 & 066
- APN 011-001-035 & 036

We understand that it is your desire to have a plat and legal description prepared for the purpose of describing a new easement through the above named properties. The proposed easement shall describe the centerline of a 14 foot wide strip of land for access to O.I.D. facilities. A scope of services is attached for your review.

We look forward to working with you on this project.

Sincerely,

GIULIANI & KULL, INC.

Kevin S. Cole, P.L.S.
P.L.S. 8853

AGREEMENT

ESTIMATE FOR SURVEYING SERVICES

SITE

Trinitas (South)

- APN 010-011-013, 057, 060, 061, 062 & 066
- APN 011-001-035 & 036

CLIENT

Oakdale Irrigation District

Contact: Emily Sheldon

1205 E. F Street

Oakdale, CA 95361

(209) 847-0341

CONSULTANT

Giuliani & Kull, Inc.

440 S. Yosemite Avenue, Suite A

Oakdale, CA 95361

(209) 847-8726

This agreement entered into in Oakdale, California hereby binds the Client and Consultant to the following Scope of Services and Compensation:

SCOPE OF SERVICES

The following scope of services is offered for preparing plats and legal descriptions for the purpose of acquiring district easements for access through those lands of Trinitas as described below.

TASK 1 – Boundary and Easement Route Survey

Consultant will perform the necessary research, calculations, fieldwork, and drafting to establish critical boundary points along subject property. A topographic route survey will be performed for along the proposed easement alignment and tied to critical boundary points. The proposed route is roughly 3.5 miles, beginning at Highway 108/120 at APN 010-011-060 and terminating at the O.I.D. South Main Canal within APN 011-001-036.

TASK 2 – Easement Legal Description and Plat

Consultant will import and analyze field collected survey data and prepare a legal description and plat describing the centerline of a 14 foot wide access easement for inclusion in O.I.D. easement documents.

SERVICES NOT INCLUDED

The following services are specifically not included as a part of the consultants work effort under this contract:

- Environmental documents, reports or studies
- Architectural, landscape architecture or structural services
- Utility design for gas, sewer, water, electric or phone
- Payment of fees associated with the herein described scope of work
- Pump and Structure Design
- Geotechnical, Well, & Septic System Design
- Record of Survey
- Setting of property corners

The above listing is not intended to be exhaustive and shall not be construed to include any work as offered under this proposal except as specifically identified in the Scope of Services.

CLIENT PROVIDED DATA

The following data information and materials are to be provided by the Client:

- Payment of application, permitting fees, plan checking, and/or recording fees
- Access to the site for survey work
- Any additional information available regarding the project (Deeds, Title Report)

COST OF SERVICES

The cost of the professional services described in the Scope of Services is estimated as follows:

| | |
|---|--------------------------|
| TASK 1 – Boundary and Easement Route Survey | \$3,250.00 |
| TASK 2 – Easement Legal Description and Plat | <u>\$2,500.00</u> |
| TOTAL | \$5,750.00 |

TERMS

The services described herein will be provided in accordance with the existing Professional Services Agreement. Work performed will be billed in accordance with our Schedule of Hourly Rates as approved by the Oakdale Irrigation District Board of Directors.

If this proposal is acceptable, please provide written authorization to proceed at your earliest convenience. We look forward to working with you on this project.

Respectfully submitted,

Accepted,



Kevin S. Cole, L.S.
Giuliani & Kull, Inc.
PLS#8853

Title: _____
Date: _____

BOARD AGENDA REPORT

Date: February 7, 2017
Item Number: 9
APN: N/A

SUBJECT: APPROVE WORK RELEASE NO. 064 TO PROFESSIONAL SERVICES AGREEMENT 2009-PSA-015 WITH GIULIANI & KULL, INC. FOR PROFESSIONAL SERVICES TO PREPARE A REQUEST FOR PROPOSAL TO SELECT AN ARCHITECTURAL SERVICE ASSOCIATED WITH THE DESIGN OF A NEW FACILITY

RECOMMENDED ACTION: Authorize General Manager to Execute Work Release No. 064

BACKGROUND AND/OR HISTORY:

In 2012 the Oakdale Irrigation District (OID) purchased three parcels located on the southwest corner of Greger Street and Kaufman Road totaling 9.64 acres. It was the intent of the purchase to construct a new OID facility at this location in the future.

The current facility is no longer conducive to the OID's current operations and maintenance needs. OID leases additional space in the adjacent strip mall for use as a Water Operations Department office separate from the main office. There is a lack of sufficient parking for OID vehicles and equipment and the asphalt has deteriorated to a point that it will need to be replaced along with the drainage system. The yard lacks in adequate lighting and can no longer accommodate all of the materials needed for routine maintenance tasks and capital projects. To summarize, the current facility is outdated, insufficient for OID's needs and is segregated to the point that it is becoming difficult to cohesively accomplish our goals and objectives.

The first step requires the selection of an architectural service to conduct a preliminary site plan and design. Work Release No. 064 will allow Giuliani & Kull to consult with OID staff to determine the specific needs associated with the new facility, draft a Request for Proposal (RFP) for review and comment by OID, finalize the RFP for distribution and assist in scoring and determining the architect with the best approach, concepts, experience and success in similar projects.

Giuliani & Kull will perform said professional services on a Time and Material basis for an estimated amount of \$2,800.00. Staff recommends that the Board authorize the General Manager to execute the Work Release No. 064 for professional services as described above and outlined in the attached Exhibit "A".

FISCAL IMPACT: Estimated amount: \$2,800.00

ATTACHMENTS:

- Work Release No. 064 including Exhibit "A"
-

Board Motion:

Motion by: _____ **Second by:** _____

VOTE:

Webb (Yes/No) Doornenbal (Yes/No) Osmundson (Yes/No) Altieri (Yes/No) Santos (Yes/No)

Action(s) to be taken:



Work Release #064

Engineering Services

Preparation of a Request for Proposal (RFP) - New OID Facility

Description

In 2012 the Oakdale Irrigation District (OID) purchased three parcels located on the southwest corner of Greger Street & Kaufman Road, the three parcels combined total 9.64 acres. It was the intent of the purchase to construct a new OID office/yard at this location in the future.

The OID requires Giuliani & Kull to prepare a Request for Proposal (RFP) for architectural services for the design of a new facility. The new facility will likely include accommodations for administration, operations, maintenance, board room, material storage and other necessary components. Giuliani & Kull will meet with OID staff to determine specific needs and after these meetings occur, will draft an RFP for review. Upon finalization of the RFP, Giuliani & Kull will assist in scoring and determining the architect with the best approach, concepts, experience and success in similar projects.

Pricing & Schedule

Pricing to perform the Scope of Work described above for Engineering Services will be on a Time & Materials basis using the Hourly Rates in accordance with 2009-PSA-015 with an Estimated Amount as follows.

Task No. 1 – Prepare Request for Proposal Estimated Amount: \$ 2,800.00

This work is to commence as soon as possible. The OID contact will be Mr. Jason Jones, Support Services Manager who will coordinate the work.

Terms and Conditions:

All Terms and Conditions for Work Release No. 064 will remain in effect as identified in the **Professional Services Agreement 2009–PSA–015**.

Oakdale Irrigation District

Giuliani & Kull, Inc.

By: _____

By: _____

Name: Steve Knell, P.E.

Name: Bill Kull

Title: General Manager

Title: President

Date: _____

Date: _____

Exhibit "A"



December 16, 2016

Jason Jones
Oakdale Irrigation District
1205 E. F Street
Oakdale, CA 95361

Subject: Proposal for Engineering Services, RFP for New Facility

Dear Mr. Jones:

We are pleased to offer the attached proposal for engineering services related to the design and layout of the proposed OID new facility located on Greger Street in Oakdale, CA.

We understand that it is your desire to prepare a Request for Proposal for architectural services related to the design of a new facility on your 9.64 acre site at the intersection of Greger Street and Kaufman Road in the City of Oakdale, CA.

We have prepared the attached scope of services for your consideration.

We thank you for your continued confidence in Giuliani & Kull, Inc. and look forward to working with you on this project.

Sincerely,

GIULIANI & KULL, INC.

William F. Kull, P.E., P.L.S.
P.L.S. 5792 P.E. 34935

AGREEMENT

ESTIMATE FOR ENGINEERING SERVICES

SITE

- OID New Facility
- Greger Street at Kaufman Road
- APN 063-024-023, 024, 025

CLIENT

Oakdale Irrigation District
Contact: Jason Jones
1205 E. F Street
Oakdale, CA 95361
(209) 847-0341

CONSULTANT

Giuliani & Kull, Inc.
440 S. Yosemite Avenue, Suite A
Oakdale, CA 95361
(209) 847-8726

This agreement entered into in Oakdale, California hereby binds the Client and Consultant to the following Scope of Services and Compensation:

SCOPE OF SERVICES

The following scope of services is offered for assisting the Oakdale Irrigation District in preparing a request for proposal for architectural services associated with the design of a new facility. The new facility will likely include accommodations for administration, operations, maintenance, board room and material storage

Task 1 – Request for Proposal Coordination

The consultant will prepare a request for proposal for architectural services for the design of a new facility. The new facility will likely include accommodations for administration, operations, maintenance, board room and material storage. The consultant will meet with District staff to

determine the specific needs associated with the new facility. After initial meetings with management the consultant will draft a request for proposal for review. Once comments are provided by management the request will be finalized for distribution. The consultant will assist management in scoring and determining the architect with the best approach, concepts, experience and success in similar projects.

SERVICES NOT INCLUDED

The following services are specifically not included as a part of the consultants work effort under this contract:

- Environmental documents, reports or studies
- Architectural, landscape architecture or structural services
- Utility design for gas, sewer, storm drain, electric or phone
- Payment of fees associated with the herein described scope of work
- Survey data, reports or documents
- Geotechnical, Well, & Septic System Design
- Engineering design, recommendations, studies or reports
- Construction management or construction staking

The above listing is not intended to be exhaustive and shall not be construed to include any work as offered under this proposal except as specifically identified in the Scope of Services.

CLIENT PROVIDED DATA

The following data information and materials are to be provided by the Client:

- A needs assessment and wish list for the new facility.

COST OF SERVICES

The cost of the professional services described in the Scope of Services are estimated as follows:

Task 1 – Prepare Request for Proposal **\$2,800**

TERMS

The services described herein will be provided in accordance with the existing Professional Services Agreement. Work performed will be billed in accordance with our Schedule of Hourly Rates as approved by the Oakdale Irrigation District Board of Directors.

If this proposal is acceptable, please provide written authorization to proceed at your earliest convenience. We look forward to working with you on this project.

Respectfully submitted,

Accepted,

William F. Kull

William F. Kull P.E., L.S.
Giuliani & Kull, Inc.
PLS# 5792
RCE 34935

Title: _____
Date: _____

BOARD AGENDA REPORT

Date: February 7, 2017
Item Number: 10
APNs: 207-250-34/35/36/37/38/
39/40/41/42

**SUBJECT: APPROVE REQUEST FOR NEW CONNECTIONS FOR SUBSTANDARD PARCELS
SERVED BY THE LEITCH LATERAL (APNS: 207-250-34/35/36/37/38/39/40/41/42 -
385 OAKDALE HARRIS, LLC)**

RECOMMENDED ACTION: Approve

BACKGROUND AND/OR HISTORY:

The parcels noted above were created as part of a 2014 parcel split and have applied for a new connection. APNS: 207-250-34/35/36/37/38/39/40/41/42 are substandard being that they are less than ten (10) acres in size so approval from the Board of Directors (Board) is required to connect. The landowner intends to irrigate the parcels with one irrigation system and as such, a Deferred Conditions of Approval Agreement will also be required and brought before the Board as a separate action item. No additional delivery points will be required to extend service to these parcels, and many other parcels utilize the existing delivery point. Given these substandard parcels are not anticipated to negatively impact OID operations, staff recommends the Board approve the new connections of the substandard parcels.

FISCAL IMPACT: New Connection Application fees have been submitted to cover all District costs.

ATTACHMENTS:

- Project Site Map
-

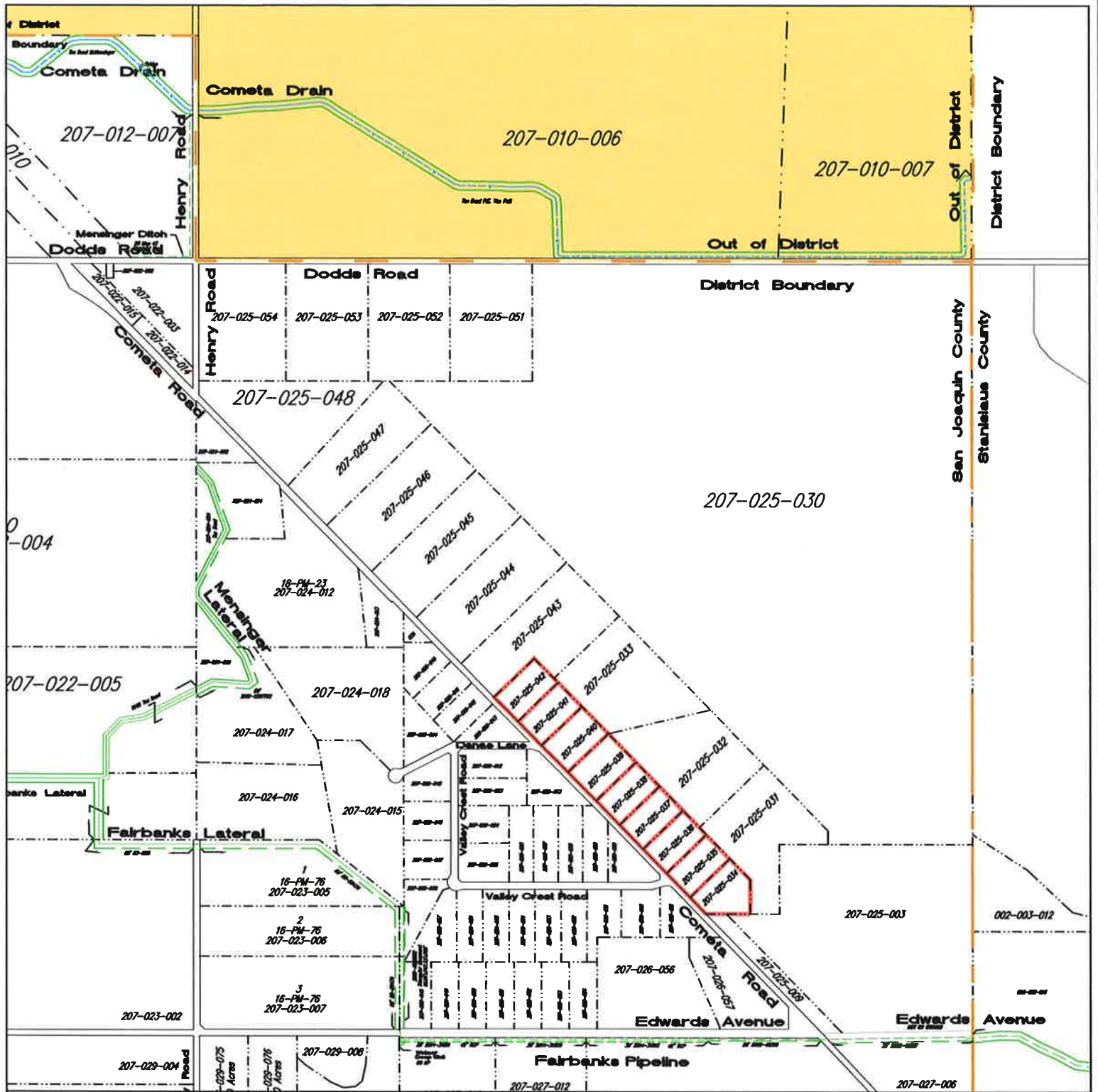
Board Motion:

Motion by: _____ **Second by:** _____

VOTE

Webb (Yes/No) Doornenbal (Yes/No) Osmundson (Yes/No) Altieri (Yes/No) Santos (Yes/No)

Action(s) to be taken:



OID
OAKDALE IRRIGATION DISTRICT



OAKDALE IRRIGATION DISTRICT
1205 EAST F STREET
OAKDALE CALIFORNIA 95361

PROJECT SITE MAP
PROPOSED NEW CONNECTION

APNS: 207-025-034/035/036/037/038/039/040/041/042



DATE: SEP. 27, 2016
DRAWN BY: CMK
CHECKED BY: ECT

385 OAKDALE HARRIS, LLC

NOT TO SCALE
SHEET 1 of 1

BOARD AGENDA REPORT

Date: February 7, 2017
Item Number: 11
APN: Various (See below.)

SUBJECT: APPROVE REQUEST TO WAIVE OID PARCEL MAP POLICY DELIVERY MEASUREMENT REQUIREMENTS AND APPROVE DEFERRED CONDITIONS OF APPROVAL AGREEMENT (APNS: 207-25-30/31/32/33/34/35/36/37/38/39/40/41/42/43/44/45/46/47/48/51/52/53/54–385 OAKDALE HARRIS, LLC)

RECOMMENDED ACTION: Approve

BACKGROUND AND/OR HISTORY:

The parcels noted above were created as a result of a 2014 parcel split and are required to have independent irrigation and drainage. In addition, these parcels are currently served by a shared private system from a turnout that is not measurable. Per OID Parcel Map Policy, newly created parcels would need to establish independent irrigation and drainage, and the turnout would need to be retrofitted to current District measurement requirements at the expense of the landowner. 385 Oakdale Harris, L.L.C. has requested that OID allow the parcels to continue irrigating as they historically have until such a time as any of the parcels noted above are sold or a change in land use occurs. Given the creation of the new parcels are not anticipated to negatively impact OID operations, and no additional delivery points are necessary and many other parcels utilize the existing delivery point, staff recommends the Board waive the turnout measurement requirements and approve the attached Deferred Conditions of Approval Agreement.

FISCAL IMPACT: Staff time for document preparation.

ATTACHMENTS:

- Deferred Conditions of Approval Agreement
-

Board Motion:

Motion by: _____ **Second by:** _____

VOTE

Webb (Yes/No) Doornenbal (Yes/No) Osmundson (Yes/No) Altieri (Yes/No) Santos (Yes/No)

Action(s) to be taken:

RECORDING REQUESTED BY AND
WHEN RECORDED MAIL TO:



OAKDALE IRRIGATION DISTRICT
1205 East F Street
Oakdale, CA 95361

APNs: 207-250-30/31/32/33/34/35/36/37/38/39/40/41/42/43/44/45/46/47/48/51/52/53/54

DEFERRED CONDITIONS OF APPROVAL AGREEMENT

BETWEEN 385 OAKDALE HARRIS, LLC AND OAKDALE IRRIGATION DISTRICT

The parcels noted above were created as the result of a 2014 parcel split. The landowner of the parcels noted above will continue to farm the parcels as one property and have no intention of selling the parcels or changing the current land use. The landowner has requested that they be permitted to continue irrigating the parcels noted above as they historically have, which is without an independent irrigation system, until any of the parcels noted above change ownership or land use. On February 7, 2017, the Oakdale Irrigation District (DISTRICT) Board of Directors approved this Deferred Conditions of Approval Agreement with 385 OAKDALE HARRIS LLC (OWNER) regarding continued irrigation.

NOW THEREFORE IT IS AGREED by and between DISTRICT and OWNER as follows:

The following project condition shall apply to APNs noted above, as described in the attached **Exhibit "A"** Legal Description of the Subject Properties and shown on the attached **Exhibit "B"** Project Site Map.

1. Prior to such time as any parcel is sold, or there is a change in ownership, or there is a change in the current agricultural land use of said parcels, the parcels shall be prepared to irrigate and drain independently. Private irrigation pipelines shall be installed from the historic point(s) of delivery, in a manner that will provide independent and measureable irrigation to the parcels. OWNER shall be responsible for all costs incurred.

By signing below, 385 Oakdale Harris, LLC, the legally titled OWNER of the subject parcels, hereby agrees to comply with the above-described condition of approval. Failure to comply with this Agreement shall result in DISTRICT withholding irrigation water until such time as the listed condition is met.

THIS AGREEMENT shall be a covenant binding upon both DISTRICT and OWNER.

IN WITNESS WHEREOF, DISTRICT and OWNER have caused their names to be affixed.

**OAKDALE IRRIGATION DISTRICT
"DISTRICT"**

Steve Webb, President
Board of Directors

Date: _____

Steve Knell, P. E
General Manager/ Secretary

Date: _____

"OWNER"



Russell Harris, Managing Member
385 Oakdale Harris, LLC

Date: 1-1-17

Mailing Address: 5148 Pleasant Valley Road
Oakdale, CA, 95361

SIGNATURES MUST BE NOTARIZED AND BE PER RECORDED DEED

NOTARY

CERTIFICATE OF ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California

County of Madera

On January 18, 2017 before me Wes Romero, A Notary Public
personally appeared Russell Harris

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

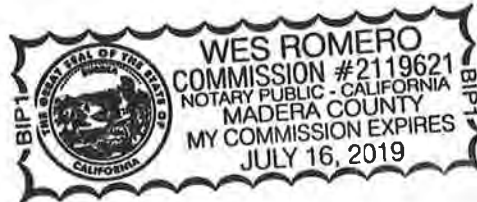
I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal

Wes Romero

Signature

(Seal)



CERTIFICATE OF ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California

County of _____

On _____ before me _____,
personally appeared _____

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal

Signature

(Seal)

LEGAL DESCRIPTION

EXHIBIT "A"

Received

SEP 16 2014

Oakdale ID

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE UNINCORPORATED AREA OF THE, COUNTY OF SAN JOAQUIN, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

TRACT A:

Parcel One:

A portion of Lot(s) 31 (thirty-one) and 32 (thirty-two) as shown on that certain map entitled "Moorland Farm Colony of the Moorland Farm Company" filed for record the 9th day of December, 1912, in Volume 6 (six) of Maps and Plats, at Page 49 (forty-nine), San Joaquin County Records and a portion of that certain railroad right-of-way parcel described in Grant Deed to the Stockton and Visalia Railroad Company recorded the 14th day of December, 1871, in Book "A" of Deeds, Volume 24 (twenty-four), at Page 161 (one-hundred sixty-one), San Joaquin County Records, all located in Section 13 (thirteen), Township 1 (one) South, Range 9 (nine) East, Mount Diablo Base and Meridian, County of San Joaquin, State of California and more particularly described as follows:

Commencing at the Southeasterly corner of said Section 13; thence along the Southerly line of said Section 13, North 89° 58' 11" West, a distance of 1090.14 feet to the Southwesterly right-of-way line of said Stockton and Visalia Railroad Company parcel being also the Northeasterly right-of-way line of Corneta Road (a 40-foot wide road); thence along said Southwesterly railroad right-of-way line, North 43° 49' 19" West, a distance of 1181.81 feet to the Westerly prolongation of the Southerly line of Parcel "8" (eight) as described in that certain Grant Deed to August L. Martin and Elsie B. Martin, trustees and their successor trustees, of the Martin Living Trust, dated June 6, 1994, said Deed being recorded 23rd day of November, 1994, as Instrument No. 94126874, San Joaquin County Records; thence continuing along said Southwesterly railroad right-of-way line, North 43° 49' 19" West, a distance of 624.06 feet to the TRUE POINT OF BEGINNING; thence continuing along said Southwesterly railroad right-of-way line, North 43° 49' 19" West, a distance of 230.00 feet; thence perpendicular to said Southwesterly railroad right-of-way line, North 46° 10' 41" East, a distance of 380.00 feet; thence parallel with said Southwesterly railroad right-of-way line, South 43° 49' 19" East, a distance of 230.00 feet to a point which bears North 46° 10' 41" East, a distance of 380.00 feet from said TRUE POINT OF BEGINNING; thence South 46° 10' 41" West, a distance of 380.00 feet to the TRUE POINT OF BEGINNING.

The above legal description is also referred to as "Legal Description of Parcel "1" Per PA-10-14", as shown on Notice of Lot Line Adjustment Recorded September 30, 2010, Instrument No. 2010-128839, San Joaquin County Records.

Parcel Two:

A portion of Lot(s) 31 (thirty-one) and 32 (thirty-two) as shown on that certain map entitled "Moorland Farm Colony of the Moorland Farm Company" filed for record the 9th day of December, 1912, in Volume 6 (six) of Maps and Plats, at Page 49 (forty-nine), San Joaquin County Records and a portion of that certain railroad right-of-way parcel described in Grant Deed to the Stockton and Visalia Railroad Company recorded the 14th day of December, 1871, in Book "A" of Deeds, Volume 24 (twenty-four), at Page 161 (one-hundred sixty-one), San Joaquin County Records, all located in Section 13 (thirteen), Township 1 (one) South, Range 9 (nine) East, Mount Diablo Base and Meridian, County of San Joaquin, State of California and more particularly described as follows:

Commencing at the Southeasterly corner of said Section 13; thence along the Southerly line of said Section 13, North 89° 58' 11" West, a distance of 1090.14 feet to the Southwesterly right-of-way line of said Stockton and Visalia Railroad Company parcel being also the Northeasterly right-of-way line of Corneta Road (a 40-foot wide road); thence along said Southwesterly railroad right-of-way line, North 43° 49' 19" West, a distance of 1181.81 feet to the Westerly prolongation of the Southerly line of Parcel "8" (eight) as described in that certain Grant Deed to August L. Martin and Elsie B. Martin, trustees and their successor trustees, of the Martin Living Trust, dated June 6, 1994, said Deed being recorded 23rd day of November, 1994, as Instrument No. 94126874, San Joaquin County Records; thence continuing along

Received

SEP 16 2010

Oakdale ID

said Southwesterly railroad right-of-way line, North 43° 49' 19" West, a distance of 854.06 feet to the TRUE POINT OF BEGINNING; thence continuing along said Southwesterly railroad right-of-way line, North 43° 49' 19" West, a distance of 230.00 feet; thence perpendicular to said Southwesterly railroad right-of-way line, North 46° 10' 41" East, a distance of 380.00 feet; thence parallel with said Southwesterly railroad right-of-way line, South 43° 49' 19" East, a distance of 230.00 feet to a point which bears North 46° 10' 41" East, a distance of 380.00 feet from said TRUE POINT OF BEGINNING; thence South 46° 10' 41" West, a distance of 380.00 feet to the TRUE POINT OF BEGINNING.

The above legal description is also referred to as "Legal Description of Parcel "2" Per PA-10-14", as shown on Notice of Lot Line Adjustment Recorded September 30, 2010, Instrument No. 2010-128839, San Joaquin County Records.

Parcel Three:

A portion of Lot(s) 31 (thirty-one) and 32 (thirty-two) as shown on that certain map entitled "Moorland Farm Colony of the Moorland Farm Company" filed for record the 9th day of December, 1912, in Volume 6 (six) of Maps and Plats, at Page 49 (forty-nine), San Joaquin County Records and a portion of that certain railroad right-of-way parcel described in Grant Deed to the Stockton and Visalia Railroad Company recorded the 14th day of December, 1871, in Book "A" of Deeds, Volume 24 (twenty-four), at Page 161 (one-hundred sixty-one), San Joaquin County Records, all located in Section 13 (thirteen), Township 1 (one) South, Range 9 (nine) East, Mount Diablo Base and Meridian, County of San Joaquin, State of California and more particularly described as follows:

Commencing at the Southeasterly corner of said Section 13; thence along the Southerly line of said Section 13, North 89° 58' 11" West, a distance of 1090.14 feet to the Southwesterly right-of-way line of said Stockton and Visalia Railroad Company parcel being also the Northeasterly right-of-way line of Corneta Road (a 40-foot wide road); thence along said Southwesterly railroad right-of-way line, North 43° 49' 19" West, a distance of 1181.81 feet to the Westerly prolongation of the Southerly line of Parcel "8" (eight) as described in that certain Grant Deed to August L. Martin and Elsie B. Martin, trustees and their successor trustees, of the Martin Living Trust, dated June 6, 1994, said Deed being recorded 23rd day of November, 1994, as Instrument No. 94126874, San Joaquin County Records, said point being the TRUE POINT OF BEGINNING; thence continuing along said Southwesterly railroad right-of-way line, North 43° 49' 19" West, a distance of 624.06 feet; thence perpendicular to said Southwesterly railroad right-of-way line, North 46° 10' 41" East, a distance of 380.00 feet; thence parallel with said Southwesterly railroad right-of-way line, North 43° 49' 19" West, a distance of 460.00 feet; thence perpendicular to said Southwesterly railroad right-of-way line, South 46° 10' 41" West, a distance of 380.00 feet to said Southwesterly railroad right-of-way line; thence along said Southwesterly railroad right-of-way line, North 43° 49' 19" West, a distance of 603.76 feet; thence perpendicular to said Southwesterly railroad right-of-way line, North 46° 10' 41" East, a distance of 100.00 feet to the Northeasterly right-of-way line of said railroad company parcel; thence along said Northeasterly railroad right-of-way line, South 43° 49' 19" East, a distance of 494.06 feet to the Southwesterly corner of said Lot 32; thence along the Westerly line of said Lot 32, North 01° 45' 17" West, a distance of 206.48 feet to the Northwestern corner of said Lot 32; thence along the Northerly line of said Lots 32 and 31, North 89° 58' 31" East, a distance of 655.47 feet to the Northeasterly corner of said Lot 31; thence along the Easterly line of said Lot 31, South 01° 41' 40" East, a distance of 661.65 feet to the Southeasterly corner of said Lot 31; thence along the Southerly line of said Lot 31, North 89° 59' 31" West, a distance of 232.37 feet to said Northeasterly railroad right-of-way line; thence along said Northeasterly railroad right-of-way line, South 43° 49' 19" East, a distance of 659.54 feet to the Southwesterly corner of said Parcel "8"; thence along said Westerly prolongation of the Southerly line of Parcel "8", South 89° 59' 42" West, a distance of 138.59 feet to the TRUE POINT OF BEGINNING.

The above legal description is also referred to as "Legal Description of Parcel "3" Per PA-10-14", as shown on Notice of Lot Line Adjustment Recorded September 30, 2010, Instrument No. 2010-128839, San Joaquin County Records.

Parcel Four:

Lot 34 (thirty-four) as shown on that certain map entitled "Moorland Farm Colony of the Moorland Farm Company" filed for record the 9th day of December, 1912, in Volume 6 (six) of Maps and Plats, at Page 49 (forty-nine), San Joaquin County Records and a portion of that certain railroad right-of-way parcel described in Grant Deed to the Stockton and Visalia Railroad Company recorded the 14th day of December, 1871, in Book "A" of Deeds, Volume 24 (twenty-four), at Page 161 (one-hundred sixty-one),

Received

SEP 15 2014

Oakdale ID

San Joaquin County Records, all located in Section 13 (thirteen), Township 1 (one) South, Range 9 (nine) East, Mount Diablo Base and Meridian, County of San Joaquin, State of California and more particularly described as follows:

Commencing at the Southeasterly corner of said Section 13; thence along the Southerly line of said Section 13, North 89° 58' 11" West, a distance of 1090.14 feet to the Southwesterly right-of-way line of said Stockton and Visalia Railroad Company parcel being also the Northeasterly right-of-way line of Corneta Road (a 40-foot wide road); thence along said Southwesterly railroad right-of-way line, North 43° 49' 19" West, a distance of 1181.81 feet to the Westerly prolongation of the Southerly line of Parcel "8" (eight) as described in that certain Grant Deed to August L. Martin and Elsie B. Martin, trustees and their successor trustees, of the Martin Living Trust, dated June 6, 1994, said Deed being recorded 23rd day of November, 1994, as Instrument No. 94126874, San Joaquin County Records, thence continuing along the Southwesterly railroad right-of-way, North 43° 49' 19" West, a distance of 1687.82 feet to the TRUE POINT OF BEGINNING; thence continuing along said Southwesterly railroad right-of-way line, North 43° 49' 19" West, a distance of 3322.94 feet to the Westerly line of said Section 13; thence along said Westerly line of Section 13, North 01° 52' 38" West, a distance of 149.61 feet to the Northeasterly right-of-way line of said railroad company parcel; thence along said Northeasterly railroad right-of-way line, South 43° 49' 19" East, a distance of 887.64 feet to the Northwesterly corner of said Lot 34; thence along the Northerly line of said Lot 34, North 89° 54' 09" East, a distance of 723.00 feet to the Northeasterly corner of said Lot 34; thence along the Easterly line of said Lot 34, South 01° 52' 31" East, a distance of 781.66 feet to said Northeasterly railroad right-of-way line; thence along said Northeasterly railroad right-of-way, South 43° 49' 19" East, a distance of 1465.47 feet to a point which bears North 46° 10' 41" East, a distance of 100.00 feet from said TRUE POINT OF BEGINNING; thence South 46° 10' 41" West, a distance of 100.00 feet to the TRUE POINT OF BEGINNING.

The above legal description is also referred to as "Legal Description of Parcel "4" Per PA-10-14", as shown on Notice of Lot Line Adjustment Recorded September 30, 2010, Instrument No. 2010-128839, San Joaquin County Records.

TRACT B:

Parcel One:

A portion of Lot 39 (thirty-nine) as shown on that certain map entitled "Moorland Farm Colony of the Moorland Farm Company" filed for record the 9th day of December, 1912, in Volume 6 (six) of Maps and Plats, at Page 49 (forty-nine), San Joaquin County Records and a portion of that certain railroad right-of-way parcel described in Grant Deed to the Stockton and Visalia Railroad Company recorded the 14th day of December, 1871, in Book "A" of Deeds, Volume 24 (twenty-four), at Page 161 (one-hundred sixty-one), San Joaquin County Records, all located in Section 13 (thirteen), Township 1 (one) South, Range 9 (nine) East, Mount Diablo Base and Meridian, County of San Joaquin, State of California and more particularly described as follows:

Commencing at the Southeasterly corner of said Section 13; thence along the Southerly line of said Section 13, North 89° 58' 11" West, a distance of 1090.14 feet to the Southwesterly right-of-way line of said Stockton and Visalia Railroad Company parcel being also the Northeasterly right-of-way line of Corneta Road (a 40-foot wide road); thence along said Southwesterly railroad right-of-way line, North 43° 49' 19" West, a distance of 1181.81 feet to the Westerly prolongation of the Southerly line of Parcel "8" (eight) as described in that certain Grant Deed to August L. Martin and Elsie B. Martin, trustees and their successor trustees, of the Martin Living Trust, dated June 6, 1994, said Deed being recorded 23rd day of November, 1994, as Instrument No. 94126874, San Joaquin County Records, and being the TRUE POINT OF BEGINNING; thence continuing along said Southwesterly railroad right-of-way line, North 43° 49' 19" West, a distance of 164.06 feet; thence perpendicular to said Southwesterly railroad right-of-way line, North 46° 10' 41" East, a distance of 380.00 feet; thence parallel with said Southwesterly railroad right-of-way line, South 43° 49' 19" East, a distance of 200.00 feet; thence perpendicular to said Southerly line of Parcel "8", South 00° 00' 18" East, a distance of 237.17 feet to said Southerly line of Parcel "8"; thence along said Southerly line of Parcel "8" and the Westerly prolongation of said Southerly line, South 89° 59' 42" West, a distance of 299.07 feet to the TRUE POINT OF BEGINNING.

The above legal description is also referred to as "Legal Description of Parcel "1" Per PA-10-15", as shown on Notice of Lot Line Adjustment Recorded September 30, 2010, Instrument No. 2010-128841, San Joaquin County Records.

Received

Parcel Two:

A portion of Lot(s) 29 (twenty-nine), 31 (thirty-one) and 39 (thirty-nine) as shown on that certain map entitled "Moorland Farm Colony of the Moorland Farm Company" filed for record the 9th day of December, 1912, in Volume 6 (six) of Maps and Plats, at Page 49 (forty-nine), San Joaquin County Records and a portion of that certain railroad right-of-way parcel described in Grant Deed to the Stockton and Visalia Railroad Company recorded the 14th day of December, 1871, in Book "A" of Deeds, Volume 24 (twenty-four), at Page 161 (one-hundred sixty-one), San Joaquin County Records, all located in Section 13 (thirteen), Township 1 (one) South, Range 9 (nine) East, Mount Diablo Base and Meridian, County of San Joaquin, State of California and more particularly described as follows:

SEP 16 2014
Oakdale ID

Commencing at the Southeasterly corner of said Section 13; thence along the Southerly line of said Section 13, North 89° 58' 11" West, a distance of 1090.14 feet to the Southwesterly right-of-way line of said Stockton and Visalia Railroad Company parcel being also the Northeasterly right-of-way line of Corneta Road (a 40-foot wide road); thence along said Southwesterly railroad right-of-way line, North 43° 49' 19" West, a distance of 1181.81 feet to the Westerly prolongation of the Southerly line of Parcel "8" (eight) as described in that certain Grant Deed to August L. Martin and Elsie B. Martin, trustees and their successor trustees, of the Martin Living Trust, dated June 6, 1994, said Deed being recorded 23rd day of November, 1994, as Instrument No. 94126874, San Joaquin County Records; thence continuing along said Southwesterly railroad right-of-way line, North 43° 49' 19" West, a distance of 164.06 feet to the TRUE POINT OF BEGINNING; thence continuing along said Southwesterly railroad right-of-way line, North 43° 49' 19" West, a distance of 460.00 feet; thence perpendicular to said Southwesterly railroad right-of-way line, North 46° 10' 41" East, a distance of 380.00 feet; thence parallel with said Southwesterly railroad right-of-way line, South 43° 49' 19" East, a distance of 460.00 feet to a point which bears North 46° 10' 41" East, a distance of 380.00 feet from said TRUE POINT OF BEGINNING; thence South 46° 10' 41" West, a distance of 380.00 feet to the TRUE POINT OF BEGINNING.

The above legal description is also referred to as "Legal Description of Parcel "2" Per PA-10-15", as shown on Notice of Lot Line Adjustment Recorded September 30, 2010, Instrument No. 2010-128841, San Joaquin County Records.

Parcel Three:

A portion of Lot(s) 29 (twenty-nine), 31 (thirty-one) and 39 (thirty-nine) as shown on that certain map entitled "Moorland Farm Colony of the Moorland Farm Company" filed for record the 9th day of December, 1912, in Volume 6 (six) of Maps and Plats, at Page 49 (forty-nine), San Joaquin County Records and a portion of that certain railroad right-of-way parcel described in Grant Deed to the Stockton and Visalia Railroad Company recorded the 14th day of December, 1871, in Book "A" of Deeds, Volume 24 (twenty-four), at Page 161 (one-hundred sixty-one), San Joaquin County Records, all located in Section 13 (thirteen), Township 1 (one) South, Range 9 (nine) East, Mount Diablo Base and Meridian, County of San Joaquin, State of California and more particularly described as follows:

Commencing at the Southeasterly corner of said Section 13; thence along the Southerly line of said Section 13, North 89° 58' 11" West, a distance of 1090.14 feet to the Southwesterly right-of-way line of said Stockton and Visalia Railroad Company parcel being also the Northeasterly right-of-way line of Corneta Road (a 40-foot wide road); thence along said Southwesterly railroad right-of-way line, North 43° 49' 19" West, a distance of 1181.81 feet to the Westerly prolongation of the Southerly line of Parcel "8" (eight) as described in that certain Grant Deed to August L. Martin and Elsie B. Martin, trustees and their successor trustees, of the Martin Living Trust, dated June 6, 1994, said Deed being recorded 23rd day of November, 1994, as Instrument No. 94126874, San Joaquin County Records; thence continuing along said Southwesterly railroad right-of-way line, North 43° 49' 19" West, a distance of 1084.06 feet to the TRUE POINT OF BEGINNING; thence continuing along said Southwesterly railroad right-of-way line, North 43° 49' 19" West, a distance of 603.76 feet; thence perpendicular to said Southwesterly railroad right-of-way line, North 46° 10' 41" East, a distance of 100.00 feet to the Northeasterly line of said railroad right-of-way line; thence along said Northeasterly railroad right-of-way line, South 43° 49' 19" East, a distance of 494.06 feet to the Southwesterly corner of said Lot 32; thence along the Westerly line of said Lot 32, North 01° 45' 17" West, a distance of 206.48 feet to the Northwesterly corner of said Lot 32; thence along the Northerly line of said Lots 32 and 31, North 89° 58' 31" East, a distance of 347.99 feet; thence parallel with said Southwesterly railroad right-of-way line, South 43° 49' 19" East, a distance of 916.46 feet to the Northerly line of said Lot 39; thence along said Northerly line of Lot 39, North 89° 59' 42" East, a distance of 342.50 feet to the Northeasterly corner of said Lot 39; thence along the Easterly line of said Lot 39, South 01° 33' 47" East, a distance of 476.00 feet to the Southeasterly corner of said Parcel "8";

thence along the Southerly line of said Parcel "8", South 89° 59' 42" West, a distance of 278.22 feet; thence perpendicular to said Southerly line of Parcel "8", North 00° 00' 18" West, a distance of 237.17 feet; thence parallel with said Southwesterly railroad right-of-way line, North 43° 49' 19" West, a distance of 1120.00 feet to a point which bears North 46° 10' 41" East, a distance of 380.00 feet from said TRUE POINT OF BEGINNING; thence South 46° 10' 41" West, a distance of 380.00 feet to the TRUE POINT OF BEGINNING.

Received
SEP 15 2014
Oakdale ID

The above legal description is also referred to as "Legal Description of Parcel "3" Per PA-10-15", as shown on Notice of Lot Line Adjustment Recorded September 30, 2010, Instrument No. 2010-128841, San Joaquin County Records.

Parcel Four:

All of Lot 27 (twenty-seven) and a portion of Lot(s) 29 (twenty-nine), and 31 (thirty-one) as shown on that certain map entitled "Moorland Farm Colony of the Moorland Farm Company" filed for record the 9th day of December, 1912, in Volume 6 (six) of Maps and Plats, at Page 49 (forty-nine), San Joaquin County Records, all located in Section 13 (thirteen), Township 1 (one) South, Range 9 (nine) East, Mount Diablo Base and Meridian, County of San Joaquin, State of California and more particularly described as follows:

Commencing at the Southeasterly corner of said Section 13; thence along the Southerly line of said Section 13, North 89° 58' 11" West, a distance of 1090.14 feet to the Southwesterly right-of-way line of said Stockton and Visalia Railroad Company parcel being also the Northeasterly right-of-way line of Corneta Road (a 40-foot wide road); thence along said Southwesterly railroad right-of-way line, North 43° 49' 19" West, a distance of 1181.81 feet to the Westerly prolongation of the Southerly line of Parcel "8" (eight) as described in that certain Grant Deed to August L. Martin and Elsie B. Martin, trustees and their successor trustees, of the Martin Living Trust, dated June 6, 1994, said Deed being recorded 23rd day of November, 1994, as Instrument No. 94126874, San Joaquin County Records; thence continuing along said Southwesterly railroad right-of-way line, North 43° 49' 19" West, a distance of 1687.82 feet; thence perpendicular to said Southwesterly railroad right-of-way line, North 46° 10' 41" East, a distance of 100.00 feet to the Northeasterly line of said railroad right-of-way line; thence along said Northeasterly railroad right-of-way line, South 43° 49' 19" East, a distance of 494.06 feet to the Southwesterly corner of said Lot 32; thence along the Westerly line of said Lot 32, North 01° 45' 17" West, a distance of 206.48 feet to the Northwesterly corner of said Lot 32; thence along the Northerly line of said Lots 32 and 31, North 89° 58' 31" East, a distance of 347.99 feet to the TRUE POINT OF BEGINNING; thence continuing along said Northerly line of Lot 31, North 89° 58' 31" East, a distance of 307.49 feet to the Southwesterly corner of said Lot 27; thence along the Westerly line of said Lot 27, North 01° 41' 40" West, a distance of 664.26 feet to the Northwesterly corner of said Lot 27; thence along the Northerly line of said Lot 27, North 89° 57' 09" East, a distance of 653.05 feet to the Northeasterly corner of said Lot 27; thence along the Easterly line of said Lot 27, South 01° 33' 47" East, a distance of 664.48 feet to the Southeasterly corner of said Lot 27; thence along the Southerly line of said Lot 27, South 89° 58' 31" West, a distance of 323.80 feet to the Northeasterly corner of said Lot 29; thence along the Easterly line of said Lot 29, South 01° 39' 52" East, a distance of 661.77 feet to the Northerly line of said Lot 39; thence along said Northerly line of Lot 39, South 89° 59' 42" West, a distance of 19.87 feet to a point which bears South 43° 49' 19" East, a distance of 919.46 feet from the TRUE POINT OF BEGINNING; thence North 43° 49' 19" West, a distance of 916.46 feet to the TRUE POINT OF BEGINNING.

The above legal description is also referred to as "Legal Description of Parcel "4" Per PA-10-15", as shown on Notice of Lot Line Adjustment Recorded September 30, 2010, Instrument No. 2010-128841, San Joaquin County Records.

TRACT C:

Parcel One:

A portion of Lot(s) 29 (twenty-nine) and 39 (thirty-nine) as shown on that certain map entitled "Moorland Farm Colony of the Moorland Farm Company" filed for record the 9th day of December, 1912, in Volume 6 (six) of Maps and Plats, at Page 49 (forty-nine), San Joaquin County Records and a portion of that certain railroad right-of-way parcel described in Grant Deed to the Stockton and Visalia Railroad Company recorded the 14th day of December, 1871, in Book "A" of Deeds, Volume 24 (twenty-four), at Page 161 (one-hundred sixty-one), San Joaquin County Records, all located in Section 13 (thirteen), Township 1 (one) South, Range 9 (nine) East, Mount Diablo Base and Meridian, County of San Joaquin, State of California and more particularly described as follows:

Received

SEP 15 2014
Oakdale ID

Commencing at the Southeasterly corner of said Section 13; thence along the Southerly line of said Section 13, North 89° 58' 11" West, a distance of 1090.14 feet to the Southwesterly right-of-way line of said Stockton and Visalia Railroad Company parcel being also the Northeasterly right-of-way line of Corneta Road (a 40-foot wide road); thence along said Southwesterly railroad right-of-way line, North 43° 49' 19" West, a distance of 1181.81 feet to the Westerly prolongation of the Southerly line of Parcel "8" (eight) as described in that certain Grant Deed to August L. Martin and Elsie B. Martin, trustees and their successor trustees, of the Martin Living Trust, dated June 6, 1994, said Deed being recorded 23rd day of November, 1994, as Instrument No. 94126874, San Joaquin County Records; thence continuing along said Southwesterly railroad right-of-way line, North 43° 49' 19" West, a distance of 164.06 feet to the TRUE POINT OF BEGINNING; thence continuing along said Southwesterly railroad right-of-way line, North 43° 49' 19" West, a distance of 230.00 feet; thence perpendicular to said Southwesterly railroad right-of-way line, North 46° 10' 41" East, a distance of 380.00 feet; thence parallel with said Southwesterly railroad right-of-way line, South 43° 49' 19" East, a distance of 230.00 feet to a point which bears North 46° 10' 41" East, a distance of 380.00 feet from said TRUE POINT OF BEGINNING; thence South 46° 10' 41" West, a distance of 380.00 feet to the TRUE POINT OF BEGINNING.

The above legal description is also referred to as "Legal Description of Parcel "1" Per PA-10-16", as shown on Notice of Lot Line Adjustment Recorded September 30, 2010, Instrument No. 2010-128843, San Joaquin County Records.

Parcel Two:

A portion of Lot(s) 29 (twenty-nine), 31 (thirty-one) and 39 (thirty-nine) as shown on that certain map entitled "Moorland Farm Colony of the Moorland Farm Company" filed for record the 9th day of December, 1912, in Volume 6 (six) of Maps and Plats, at Page 49 (forty-nine), San Joaquin County Records and a portion of that certain railroad right-of-way parcel described in Grant Deed to the Stockton and Visalia Railroad Company recorded the 14th day of December, 1871, in Book "A" of Deeds, Volume 24 (twenty-four), at Page 161 (one-hundred sixty-one), San Joaquin County Records, all located in Section 13 (thirteen), Township 1 (one) South, Range 9 (nine) East, Mount Diablo Base and Meridian, County of San Joaquin, State of California and more particularly described as follows:

Commencing at the Southeasterly corner of said Section 13; thence along the Southerly line of said Section 13, North 89° 58' 11" West, a distance of 1090.14 feet to the Southwesterly right-of-way line of said Stockton and Visalia Railroad Company parcel being also the Northeasterly right-of-way line of Corneta Road (a 40-foot wide road); thence along said Southwesterly railroad right-of-way line, North 43° 49' 19" West, a distance of 1181.81 feet to the Westerly prolongation of the Southerly line of Parcel "8" (eight) as described in that certain Grant Deed to August L. Martin and Elsie B. Martin, trustees and their successor trustees, of the Martin Living Trust, dated June 6, 1994, said Deed being recorded 23rd day of November, 1994, as Instrument No. 94126874, San Joaquin County Records; thence continuing along said Southwesterly railroad right-of-way line, North 43° 49' 19" West, a distance of 394.06 feet to the TRUE POINT OF BEGINNING; thence continuing along said Southwesterly railroad right-of-way line, North 43° 49' 19" West, a distance of 230.00 feet; thence perpendicular to said Southwesterly railroad right-of-way line, North 46° 10' 41" East, a distance of 380.00 feet; thence parallel with said Southwesterly railroad right-of-way line, South 43° 49' 19" East, a distance of 230.00 feet to a point which bears North 46° 10' 41" East, a distance of 380.00 feet from said TRUE POINT OF BEGINNING; thence South 46° 10' 41" West, a distance of 380.00 feet to the TRUE POINT OF BEGINNING.

The above legal description is also referred to as "Legal Description of Parcel "2" Per PA-10-16", as shown on Notice of Lot Line Adjustment Recorded September 30, 2010, Instrument No. 2010-128843, San Joaquin County Records.

Parcel Three:

A portion of Lot(s) 29 (twenty-nine), 31 (thirty-one), 32 (thirty-two) and 39 (thirty-nine) as shown on that certain map entitled "Moorland Farm Colony of the Moorland Farm Company" filed for record the 9th day of December, 1912, in Volume 6 (six) of Maps and Plats, at Page 49 (forty-nine), San Joaquin County Records and a portion of that certain railroad right-of-way parcel described in Grant Deed to the Stockton and Visalia Railroad Company recorded the 14th day of December, 1871, in Book "A" of Deeds, Volume 24 (twenty-four), at Page 161 (one-hundred sixty-one), San Joaquin County Records, all located in Section 13 (thirteen), Township 1 (one) South, Range 9 (nine) East, Mount Diablo Base and Meridian, County of San Joaquin, State of California and more particularly described as follows:

Received

SEP 15 2010

Oakdale ID

Commencing at the Southeasterly corner of said Section 13; thence along the Southerly line of said Section 13, North 89° 58' 11" West, a distance of 1090.14 feet to the Southwesterly right-of-way line of said Stockton and Visalia Railroad Company parcel being also the Northeasterly right-of-way line of Corneta Road (a 40-foot wide road); thence along said Southwesterly railroad right-of-way line, North 43° 49' 19" West, a distance of 1181.81 feet to the Westerly prolongation of the Southerly line of Parcel "8" (eight) as described in that certain Grant Deed to August L. Martin and Elsie B. Martin, trustees and their successor trustees, of the Martin Living Trust, dated June 6, 1994, said Deed being recorded 23rd day of November, 1994, as Instrument No. 94126874, San Joaquin County Records; thence continuing along said Southwesterly railroad right-of-way line, North 43° 49' 19" West, a distance of 1084.06 feet to the TRUE POINT OF BEGINNING; thence continuing along said Southwesterly railroad right-of-way line, North 43° 49' 19" West, a distance of 603.76 feet; thence perpendicular to said Southwesterly railroad right-of-way line, North 46° 10' 41" East, a distance of 100.00 feet to the Northeasterly line of said railroad right-of-way line; thence along said railroad right-of-way line, South 43° 49' 19" East, a distance of 494.06 feet to the Southwesterly corner of said Lot 32; thence along the Westerly line of said Lot 32, North 01° 45' 17" West, a distance of 206.48 feet to the Northwesterly corner of said Lot 32; thence along the Northerly line of said Lots 32 and 31, North 89° 58' 31" East, a distance of 347.99 feet; thence parallel with said Southwesterly railroad right-of-way line, South 43° 49' 19" East, a distance of 916.46 feet to the Northerly line of said Lot 39; thence along said Northerly line of Lot 39, North 89° 59' 42" East, a distance of 342.50 feet to the Northeasterly corner of said Lot 39; thence along the Easterly line of said Lot 39, South 01° 33' 47" East, a distance of 476.00 feet to the Southeasterly corner of said Parcel "8"; thence along the Southerly line of said Parcel "8", South 89° 59' 42" West, a distance of 278.22 feet; thence perpendicular to said Southerly line of Parcel "8", North 00° 00' 18" West, a distance of 237.17 feet; thence parallel with said Southwesterly railroad right-of-way line, North 43° 49' 19" West, a distance of 1120.00 feet to a point which bears North 46° 10' 41" East, a distance of 380.00 feet from said TRUE POINT OF BEGINNING; thence South 46° 10' 41" West, a distance of 380.00 feet to the TRUE POINT OF BEGINNING.

The above legal description is also referred to as "Legal Description of Parcel "3" Per PA-10-16", as shown on Notice of Lot Line Adjustment Recorded September 30, 2010, Instrument No. 2010-128843, San Joaquin County Records.

Parcel Four:

Lot(s) 27 (twenty-seven) and 28 (twenty-eight) and a portion of Lot(2) 29 (twenty-nine) and 31 (thirty-one) as shown on that certain map entitled "Moorland Farm Colony of the Moorland Farm Company" filed for record the 9th day of December, 1912, in Volume 6 (six) of Maps and Plats, at Page 49 (forty-nine), San Joaquin County Records, all located in Section 13 (thirteen), Township 1 (one) South, Range 9 (nine) East, Mount Diablo Base and Meridian, County of San Joaquin, State of California and more particularly described as follows:

Commencing at the Southeasterly corner of said Section 13; thence along the Southerly line of said Section 13, North 89° 58' 11" West, a distance of 1090.14 feet to the Southwesterly right-of-way line of said Stockton and Visalia Railroad Company parcel being also the Northeasterly right-of-way line of Corneta Road (a 40-foot wide road); thence along said Southwesterly railroad right-of-way line, North 43° 49' 19" West, a distance of 1181.81 feet to the Westerly prolongation of the Southerly line of Parcel "8" (eight) as described in that certain Grant Deed to August L. Martin and Elsie B. Martin, trustees and their successor trustees, of the Martin Living Trust, dated June 6, 1994, said Deed being recorded 23rd day of November, 1994, as Instrument No. 94126874, San Joaquin County Records; thence continuing along said Southwesterly railroad right-of-way line, North 43° 49' 19" West, a distance of 1687.82 feet; thence perpendicular to said Southwesterly railroad right-of-way line, North 46° 10' 41" East, a distance of 100.00 feet to the Northeasterly line of said railroad right-of-way line; thence along said Northeasterly railroad right-of-way, South 43° 49' 19" East, a distance of 494.06 feet to the Southwesterly corner of Lot 32 of said Moorland Farms Colony No. 1 of the Moorland Farms Company; thence along the Westerly line of said Lot 32, North 01° 45' 17" West, a distance of 206.48 feet to the Northwesterly corner of said Lot 32; thence along the Northerly line of said Lots 31 and 31, North 89° 58' 31" East, a distance of 347.99 feet to the TRUE POINT OF BEGINNING; thence continuing along said Northerly line of said Lot 31, North 89° 58' 31" East, a distance of 307.49 feet to the Southwesterly corner of said Lot 27; thence along the Westerly line of said Lot 27, North 01° 41' 40" West, a distance of 664.26 feet to the Northwesterly corner of said Lot 27; thence along the Northerly line of said Lot 27, North 89° 57' 09" East, a distance of 653.05 feet to the Northeasterly corner of said Lot 27; thence along the Easterly line of said Lots 27 and 28, South 01° 33' 47" East, a distance of 1326.33 feet to the Northeasterly corner of Lot 39 of said

Moorland Farms Colony No. 1 of the Moorland Farms Company; thence along the Northerly line of said Lot 39, South 89° 59' 42" West, a distance of 342.50 feet to a point which bears South 43° 49' 19" East, a distance of 916.46 feet from said TRUE POINT OF BEGINNING; thence North 43° 49' 19" West, a distance of 916.46 feet to the TRUE POINT OF BEGINNING. **Received SEP 16 2014 Oakdale ID**

The above legal description is also referred to as "Legal Description of Parcel "4" Per PA-10-16", as shown on Notice of Lot Line Adjustment Recorded September 30, 2010, Instrument No. 2010-128843, San Joaquin County Records.

TRACT D:

Parcel One:

A portion of Lot(s) 30 (thirty), 32 (thirty-two) and 33 (thirty-three) and Block 1 (one) as shown on that certain map entitled "Moorland Farm Colony of the Moorland Farm Company" filed for record the 9th day of December, 1912, in Volume 6 (six) of Maps and Plats, at Page 49 (forty-nine), San Joaquin County Records and a portion of that certain railroad right-of-way parcel described in Grant Deed to the Stockton and Visalia Railroad Company recorded the 14th day of December, 1871, in Book "A" of Deeds, Volume 24 (twenty-four), at Page 161 (one-hundred sixty-one), San Joaquin County Records, all located in Section 13 (thirteen), Township 1 (one) South, Range 9 (nine) East, Mount Diablo Base and Meridian, County of San Joaquin, State of California and more particularly described as follows:

Commencing at the Southeasterly corner of said Section 13; thence along the Southerly line of said Section 13, North 89° 58' 11" West, a distance of 1090.14 feet to the Southwesterly right-of-way line of said Stockton and Visalia Railroad Company parcel being also the Northeasterly right-of-way line of Corneta Road (a 40-foot wide road); thence along said Southwesterly railroad right-of-way line, North 43° 49' 19" West, a distance of 1181.81 feet to the Westerly prolongation of the Southerly line of Parcel "8" (eight) as described in that certain Grant Deed to August L. Martin and Elsie B. Martin, trustees and their successor trustees, of the Martin Living Trust, dated June 6, 1994, said Deed being recorded 23rd day of November, 1994, as Instrument No. 94126874, San Joaquin County Records; thence continuing along said Southwesterly railroad right-of-way line, North 43° 49' 19" West, a distance of 1084.06 feet to the TRUE POINT OF BEGINNING; thence continuing along said Southwesterly railroad right-of-way line, North 43° 49' 19" West, a distance of 271.72 feet; thence perpendicular to said Southwesterly railroad right-of-way line, North 46° 10' 41" East, a distance of 380.00 feet; thence parallel with said Southwesterly railroad right-of-way line, South 43° 49' 19" East, a distance of 271.72 feet to a point which bears North 46° 10' 41" East, a distance of 380.00 feet from said TRUE POINT OF BEGINNING; thence South 46° 10' 41" West, a distance of 380.00 feet to the TRUE POINT OF BEGINNING.

The above legal description is also referred to as "Legal Description of Parcel "1" Per PA-10-17", as shown on Notice of Lot Line Adjustment Recorded September 30, 2010, Instrument No. 2010-128845, San Joaquin County Records.

Parcel Two:

A portion of Lot(s) 30 (thirty), 33 (thirty-three) and a portion of Block 1 (one) as shown on that certain map entitled "Moorland Farm Colony of the Moorland Farm Company" filed for record the 9th day of December, 1912, in Volume 6 (six) of Maps and Plats, at Page 49 (forty-nine), San Joaquin County Records and a portion of that certain railroad right-of-way parcel described in Grant Deed to the Stockton and Visalia Railroad Company recorded the 14th day of December, 1871, in Book "A" of Deeds, Volume 24 (twenty-four), at Page 161 (one-hundred sixty-one), San Joaquin County Records, all located in Section 13 (thirteen), Township 1 (one) South, Range 9 (nine) East, Mount Diablo Base and Meridian, County of San Joaquin, State of California and more particularly described as follows:

Commencing at the Southeasterly corner of said Section 13; thence along the Southerly line of said Section 13, North 89° 58' 11" West, a distance of 1090.14 feet to the Southwesterly right-of-way line of said Stockton and Visalia Railroad Company parcel being also the Northeasterly right-of-way line of Corneta Road (a 40-foot wide road); thence along said Southwesterly railroad right-of-way line, North 43° 49' 19" West, a distance of 1181.81 feet to the Westerly prolongation of the Southerly line of Parcel "8" (eight) as described in that certain Grant Deed to August L. Martin and Elsie B. Martin, trustees and their successor trustees, of the Martin Living Trust, dated June 6, 1994, said Deed being recorded 23rd day of November, 1994, as Instrument No. 94126874, San Joaquin County Records; thence continuing along said Southwesterly railroad right-of-way line, North 43° 49' 19" West, a distance of 1355.78 feet to the

TRUE POINT OF BEGINNING; thence continuing along said Southwesterly railroad right-of-way line, North 43° 49' 19" West, a distance of 255.00 feet; thence perpendicular to said Southwesterly railroad right-of-way line, North 46° 10' 41" East, a distance of 380.00 feet; thence parallel with said Southwesterly railroad right-of-way line, South 43° 49' 19" East, a distance of 255.00 feet to a point which bears North 46° 10' 41" East, a distance of 380.00 feet from said TRUE POINT OF BEGINNING; thence South 46° 10' 41" West, a distance of 380.00 feet to the TRUE POINT OF BEGINNING.

Received
SEP 15 2014
Oakdale ID

The above legal description is also referred to as "Legal Description of Parcel "2" Per PA-10-17", as shown on Notice of Lot Line Adjustment Recorded September 30, 2010, Instrument No. 2010-128845, San Joaquin County Records.

Parcel Three:

A portion of Lot 33 (thirty-three) as shown on that certain map entitled "Moorland Farm Colony of the Moorland Farm Company" filed for record the 9th day of December, 1912, in Volume 6 (six) of Maps and Plats, at Page 49 (forty-nine), San Joaquin County Records and a portion of that certain railroad right-of-way parcel described in Grant Deed to the Stockton and Visalia Railroad Company recorded the 14th day of December, 1871, in Book "A" of Deeds, Volume 24 (twenty-four), at Page 161 (one-hundred sixty-one), San Joaquin County Records, all located in Section 13 (thirteen), Township 1 (one) South, Range 9 (nine) East, Mount Diablo Base and Meridian, County of San Joaquin, State of California and more particularly described as follows:

Commencing at the Southeasterly corner of said Section 13; thence along the Southerly line of said Section 13, North 89° 58' 11" West, a distance of 1090.14 feet to the Southwesterly right-of-way line of said Stockton and Visalia Railroad Company parcel being also the Northeasterly right-of-way line of Corneta Road (a 40-foot wide road); thence along said Southwesterly railroad right-of-way line, North 43° 49' 19" West, a distance of 1181.81 feet to the Westerly prolongation of the Southerly line of Parcel "8" (eight) as described in that certain Grant Deed to August L. Martin and Elsie B. Martin, trustees and their successor trustees, of the Martin Living Trust, dated June 6, 1994, said Deed being recorded 23rd day of November, 1994, as Instrument No. 94126874, San Joaquin County Records; thence continuing along said Southwesterly railroad right-of-way line, North 43° 49' 19" West, a distance of 1610.78 feet to the TRUE POINT OF BEGINNING; thence continuing along said Southwesterly railroad right-of-way line, North 43° 49' 19" West, a distance of 77.04 feet; thence perpendicular to said Southwesterly railroad right-of-way line, North 46° 10' 41" East, a distance of 100.00 feet to the Northeasterly line of said railroad right-of-way line; thence along said Northeasterly railroad right-of-way line, North 43° 49' 19" West, a distance of 710.97 feet to the Northwestern corner of said Lot 33; thence along the Northerly line of said Lot 33, North 89° 57' 09" East, a distance of 387.78 feet; thence parallel with said Southwesterly railroad right-of-way line, South 43° 49' 19" East, a distance of 519.74 feet to a point which bears North 46° 10' 41" East, a distance of 380.00 feet from said TRUE POINT OF BEGINNING; thence South 46° 10' 41" West, a distance of 380.00 feet to the TRUE POINT OF BEGINNING.

The above legal description is also referred to as "Legal Description of Parcel "3" Per PA-10-17", as shown on Notice of Lot Line Adjustment Recorded September 30, 2010, Instrument No. 2010-128845, San Joaquin County Records.

Parcel Four:

A portion of Lot(s) 29 (twenty-nine), 30 (thirty), 31 (thirty-one), 32 (thirty-two) 33 (thirty-three) and 39 (thirty-nine) as shown on that certain map entitled "Moorland Farm Colony of the Moorland Farm Company" filed for record the 9th day of December, 1912, in Volume 6 (six) of Maps and Plats, at Page 49 (forty-nine), San Joaquin County Records, all located in Section 13 (thirteen), Township 1 (one) South, Range 9 (nine) East, Mount Diablo Base and Meridian, County of San Joaquin, State of California and more particularly described as follows:

Commencing at the Southeasterly corner of said Section 13; thence along the Southerly line of said Section 13, North 89° 58' 11" West, a distance of 1090.14 feet to the Southwesterly right-of-way line of said Stockton and Visalia Railroad Company parcel being also the Northeasterly right-of-way line of Corneta Road (a 40-foot wide road); thence along said Southwesterly railroad right-of-way line, North 43° 49' 19" West, a distance of 1181.81 feet to the Westerly prolongation of the Southerly line of Parcel "8" (eight) as described in that certain Grant Deed to August L. Martin and Elsie B. Martin, trustees and their successor trustees, of the Martin Living Trust, dated June 6, 1994, said Deed being recorded 23rd day of November, 1994, as Instrument No. 94126874, San Joaquin County Records; thence continuing along

said Southwesterly railroad right-of-way line, North 43° 49' 19" West, a distance of 1687.82 feet; thence perpendicular to said Southwesterly railroad right-of-way line, North 46° 10' 41" East, a distance of 100.00 feet to the Northeasterly line of said railroad right-of-way line; thence along said Northeasterly railroad right-of-way line, North 43° 49' 19" West, a distance of 710.97 feet to the Northwestern corner of said Lot 33; thence along the Northerly line of said Lot 33, North 89° 57' 09" East, a distance of 387.78 feet to the TRUE POINT OF BEGINNING; thence continuing along the Northerly line of said Lots 33 and 30, North 89° 57' 09" East, a distance of 1076.12 feet to the Northeasterly corner of said Lot 30; thence along the Easterly line of said Lot 30, South 01° 41' 40" East, a distance of 664.26 feet to the Southeast corner of said Lot 30; thence along the Southerly line of said Lot 30, South 89° 58' 31" West, a distance of 307.49 feet; thence parallel with said Southwesterly railroad right-of-way line, South 43° 49' 19" East, a distance of 916.46 feet to the Northerly line of said Lot 39; thence along said Northerly line of Lot 39, North 89° 59' 42" East, a distance of 342.50 feet to the Northeasterly corner of said Lot 39; thence along the Easterly line of said Lot 39, South 01° 33' 47" East, a distance of 476.00 feet to the Southeast corner of said Parcel "8"; thence along the Southerly line of said Parcel "8", South 89° 59' 42" West, a distance of 278.22 feet; thence perpendicular to said Southerly line of Parcel "8", North 00° 00' 18" West, a distance of 237.17 feet; thence parallel with said Southwesterly railroad right-of-way line, North 43° 49' 19" West, a distance of 2166.46 feet to the TRUE POINT OF BEGINNING.

The above legal description is also referred to as "Legal Description of Parcel "4" Per PA-10-17", as shown on Notice of Lot Line Adjustment Recorded September 30, 2010, Instrument No. 2010-128845, San Joaquin County Records.

TRACT E:

Parcel One:

A portion of Lot 33 (thirty-three) as shown on that certain map entitled "Moorland Farm Colony of the Moorland Farm Company" filed for record the 9th day of December, 1912, in Volume 6 (six) of Maps and Plats, at Page 49 (forty-nine), San Joaquin County Records and a portion of that certain railroad right-of-way parcel described in Grant Deed to the Stockton and Visalia Railroad Company recorded the 14th day of December, 1871, in Book "A" of Deeds, Volume 24 (twenty-four), at Page 161 (one-hundred sixty-one), San Joaquin County Records, all located in Section 13 (thirteen), Township 1 (one) South, Range 9 (nine) East, Mount Diablo Base and Meridian, County of San Joaquin, State of California and more particularly described as follows:

Commencing at the Southeast corner of said Section 13; thence along the Southerly line of said Section 13, North 89° 58' 11" West, a distance of 1090.14 feet to the Southwesterly right-of-way line of said Stockton and Visalia Railroad Company parcel being also the Northeasterly right-of-way line of Corneta Road (a 40-foot wide road); thence along said Southwesterly railroad right-of-way line, North 43° 49' 19" West, a distance of 1181.81 feet to the Westerly prolongation of the Southerly line of Parcel "8" (eight) as described in that certain Grant Deed to August L. Martin and Elsie B. Martin, trustees and their successor trustees, of the Martin Living Trust, dated June 6, 1994, said Deed being recorded 23rd day of November, 1994, as Instrument No. 94126874, San Joaquin County Records; thence continuing along said Southwesterly railroad right-of-way line, North 43° 49' 19" West, a distance of 1610.78 feet to the TRUE POINT OF BEGINNING; thence continuing along said Southwesterly railroad right-of-way line, North 43° 49' 19" West, a distance of 230.00 feet; thence perpendicular to said Southwesterly railroad right-of-way line, North 46° 10' 41" East, a distance of 380.00 feet; thence parallel with said Southwesterly railroad right-of-way line, South 43° 49' 19" East, a distance of 230.00 feet to a point which bears North 46° 10' 41" East, a distance of 380.00 feet from said TRUE POINT OF BEGINNING; thence South 46° 10' 41" West, a distance of 380.00 feet to the TRUE POINT OF BEGINNING.

The above legal description is also referred to as "Legal Description of Parcel "1" Per PA-10-18", as shown on Notice of Lot Line Adjustment Recorded September 30, 2010, Instrument No. 2010-128847, San Joaquin County Records.

Parcel Two:

A portion of Lot 33 (thirty-three) as shown on that certain map entitled "Moorland Farm Colony of the Moorland Farm Company" filed for record the 9th day of December, 1912, in Volume 6 (six) of Maps and Plats, at Page 49 (forty-nine), San Joaquin County Records and a portion of that certain railroad right-of-way parcel described in Grant Deed to the Stockton and Visalia Railroad Company recorded the 14th day of December, 1871, in Book "A" of Deeds, Volume 24 (twenty-four), at Page 161 (one-hundred sixty-

Received
SEP 15 2014
Oakdale ID

EXHIBIT "A" (continued)

one), San Joaquin County Records, all located in Section 13 (thirteen), Township 1 (one) South, Range 9 (nine) East, Mount Diablo Base and Meridian, County of San Joaquin, State of California and more particularly described as follows:

Commencing at the Southeasterly corner of said Section 13; thence along the Southerly line of said Section 13, North 89° 58' 11" West, a distance of 1090.14 feet to the Southwesterly right-of-way line of said Stockton and Visalia Railroad Company parcel being also the Northeasterly right-of-way line of Corneta Road (a 40-foot wide road); thence along said Southwesterly railroad right-of-way line, North 43° 49' 19" West, a distance of 1181.81 feet to the Westerly prolongation of the Southerly line of Parcel "8" (eight) as described in that certain Grant Deed to August L. Martin and Elsie B. Martin, trustees and their successor trustees, of the Martin Living Trust, dated June 6, 1994, said Deed being recorded 23rd day of November, 1994, as Instrument No. 94126874, San Joaquin County Records; thence continuing along said Southwesterly railroad right-of-way line, North 43° 49' 19" West, a distance of 1840.78 feet to the TRUE POINT OF BEGINNING; thence continuing along said Southwesterly railroad right-of-way line, North 43° 49' 19" West, a distance of 230.00 feet; thence perpendicular to said Southwesterly railroad right-of-way line, North 46° 10' 41" East, a distance of 380.00 feet; thence parallel with said Southwesterly railroad right-of-way line, South 43° 49' 19" East, a distance of 230.00 feet to a point which bears North 46° 10' 41" East, a distance of 380.00 feet from said TRUE POINT OF BEGINNING; thence South 46° 10' 41" West, a distance of 380.00 feet to the TRUE POINT OF BEGINNING.

The above legal description is also referred to as "Legal Description of Parcel "2" Per PA-10-18", as shown on Notice of Lot Line Adjustment Recorded September 30, 2010, Instrument No. 2010-128847, San Joaquin County Records.

Parcel Three:

A portion of that certain railroad right-of-way parcel described in Grant Deed to the Stockton and Visalia Railroad Company recorded the 14th day of December, 1871, in Book "A" of Deeds, Volume 24 (twenty-four), at Page 161 (one-hundred sixty-one), San Joaquin County Records, all located in Section 13 (thirteen), Township 1 (one) South, Range 9 (nine) East, Mount Diablo Base and Meridian, County of San Joaquin, State of California and more particularly described as follows:

Commencing at the Southeasterly corner of said Section 13; thence along the Southerly line of said Section 13, North 89° 58' 11" West, a distance of 1090.14 feet to the Southwesterly right-of-way line of said Stockton and Visalia Railroad Company parcel being also the Northeasterly right-of-way line of Corneta Road (a 40-foot wide road); thence along said Southwesterly railroad right-of-way line, North 43° 49' 19" West, a distance of 1181.81 feet to the Westerly prolongation of the Southerly line of Parcel "8" (eight) as described in that certain Grant Deed to August L. Martin and Elsie B. Martin, trustees and their successor trustees, of the Martin Living Trust, dated June 6, 1994, said Deed being recorded 23rd day of November, 1994, as Instrument No. 94126874, San Joaquin County Records; thence continuing along said Southwesterly railroad right-of-way line, North 43° 49' 19" West, a distance of 2070.78 feet; thence continuing along said Southwesterly railroad right-of-way line, North 43° 49' 19" West, a distance of 2939.98 feet to the Westerly line of said Section 13; thence along said Westerly line of Section 13, North 01° 52' 38" West, a distance of 40.55 feet to a point which bears South 01° 52' 38" East, a distance of 799.80 feet from the Northwest corner of said Section 13 and being the TRUE POINT OF BEGINNING; thence continuing along said Westerly line of Section 13, North 01° 52' 38" West, a distance of 799.80 feet to said Northwest corner of Section 13; thence along the Northerly line of said Section 13, North 89° 54' 23" East, a distance of 589.07 feet; thence parallel with said Westerly line of Section 13, South 01° 52' 38" East, a distance of 799.80 feet to a point which bears North 89° 54' 23" East, a distance of 589.07 feet from said TRUE POINT OF BEGINNING; thence South 89° 54' 23" West, a distance of 589.07 feet to the TRUE POINT OF BEGINNING.

The above legal description is also referred to as "Legal Description of Parcel "3" Per PA-10-18", as shown on Notice of Lot Line Adjustment Recorded September 30, 2010, Instrument No. 2010-128847, San Joaquin County Records.

Parcel Four:

All of Lot(s) 8 (eight) and 34 (thirty-four) and a portion of Lot 33 (thirty-three) as shown on that certain map entitled "Moorland Farm Colony of the Moorland Farm Company" filed for record the 9th day of December, 1912, in Volume 6 (six) of Maps and Plats, at Page 49 (forty-nine), San Joaquin County Records and a portion of that certain railroad right-of-way parcel described in Grant Deed to the Stockton

Received
SEP 15 2014
Oakdale ID

and Visalia Railroad Company recorded the 14th day of December, 1871, in Book "A" of Deeds, Volume 24 (twenty-four), at Page 161 (one-hundred sixty-one), San Joaquin County Records, all located in Section 13 (thirteen), Township 1 (one) South, Range 9 (nine) East, Mount Diablo Base and Meridian, County of San Joaquin, State of California and more particularly described as follows:

Received

SEP 15 2014

Oakdale ID

Commencing at the Southeasterly corner of said Section 13; thence along the Southerly line of said Section 13, North 89° 58' 11" West, a distance of 1090.14 feet to the Southwesterly right-of-way line of said Stockton and Visalia Railroad Company parcel being also the Northeasterly right-of-way line of Corneta Road (a 40-foot wide road); thence along said Southwesterly railroad right-of-way line, North 43° 49' 19" West, a distance of 1181.81 feet to the Westerly prolongation of the Southerly line of Parcel "8" (eight) as described in that certain Grant Deed to August L. Martin and Elsie B. Martin, trustees and their successor trustees, of the Martin Living Trust, dated June 6, 1994, said Deed being recorded 23rd day of November, 1994, as Instrument No. 94126874, San Joaquin County Records; thence continuing along said Southwesterly railroad right-of-way line, North 43° 49' 19" West, a distance of 2070.78 feet to the TRUE POINT OF BEGINNING; thence continuing along said Southwesterly railroad right-of-way line, North 43° 49' 19" West, a distance of 2939.98 feet to the Westerly line of said Section 13; thence along said Westerly line of Section 13, North 01° 52' 38" West, a distance of 40.55 feet to a point which bears South 01° 52' 38" East a distance of 799.80 feet from the Northwest corner of said Section 13; thence parallel with the Northerly line of said Section 13, North 89° 54' 23" East, a distance of 589.07 feet; thence parallel with said Westerly line of Section 13, North 01° 52' 38" West, a distance of 799.80 feet to said Northerly line of Section 13; thence along said Northerly line of Section 13, North 89° 54' 23" East, a distance of 727.57 feet to the Northeasterly corner of said Northwest Quarter of the Northwest Quarter of Section 13; thence along the Easterly line of said Northwest Quarter of the Northwest Quarter of Section 13 and the Easterly line of said Lot 34, South 01° 52' 31" East, a distance of 1995.80 feet to the Northwest corner of said Lot 8; thence along the Northerly line of said Lot 8, North 89° 55' 39" East, a distance of 656.85 feet to the Northeasterly corner of said Lot 8; thence along the Easterly line of said Lot 8, South 01° 48' 54" East, a distance of 663.64 feet to the Northerly line of said Lot 33; thence along said Northerly line of Lot 33, North 89° 57' 09" East, a distance of 236.21 feet; thence parallel with said Southwesterly railroad right-of-way line, South 43° 49' 19" East, a distance of 59.74 feet to a point which bears North 46° 10' 41" East, a distance of 380.00 feet from said TRUE POINT OF BEGINNING; thence South 46° 10' 41" West, a distance of 380.00 feet to the TRUE POINT OF BEGINNING.

The above legal description is also referred to as "Legal Description of Parcel "4" Per PA-10-18", as shown on Notice of Lot Line Adjustment Recorded September 30, 2010, Instrument No. 2010-128847, San Joaquin County Records.

TRACT F:

Parcel One:

A portion of the Northwest Quarter of the Northwest Quarter of Section 13 (thirteen), Township 1 (one) South, Range 9 (nine) East, Mount Diablo Base and Meridian, County of San Joaquin, State of California and more particularly described as follows:

Commencing at the Southeasterly corner of said Section 13; thence along the Southerly line of said Section 13, North 89° 58' 11" West, a distance of 1090.14 feet to the Southwesterly right-of-way line of said Stockton and Visalia Railroad Company parcel being also the Northeasterly right-of-way line of Corneta Road (a 40-foot wide road); thence along said Southwesterly railroad right-of-way line, North 43° 49' 19" West, a distance of 1181.81 feet to the Westerly prolongation of the Southerly line of Parcel "8" (eight) as described in that certain Grant Deed to August L. Martin and Elsie B. Martin, trustees and their successor trustees, of the Martin Living Trust, dated June 6, 1994, said Deed being recorded 23rd day of November, 1994, as Instrument No. 94126874, San Joaquin County Records; thence continuing along said Southwesterly railroad right-of-way line, North 43° 49' 19" West, a distance of 5010.76 feet to the Westerly line of said Section 13; thence along said Westerly line of Section 13, North 01° 52' 38" West, a distance of 40.55 feet to a point which bears South 01° 52' 38" East, a distance of 799.80 feet from the Northwest corner of said Section 13; thence parallel with the Northerly line of said Section 13, North 89° 54' 23" East, a distance of 589.07 feet to the TRUE POINT OF BEGINNING; thence parallel with said Westerly line of Section 13, North 01° 52' 38" West, a distance of 799.80 feet to said Northerly line of Section 13; thence along said Northerly line of Section 13, North 89° 54' 23" East, a distance of 558.88 feet; thence parallel with said Westerly line of Section 13, South 01° 52' 38" East, a distance of 799.80 feet to a point which bears North 89° 54' 23" East, a distance of 558.88 feet from said TRUE POINT OF BEGINNING; thence South 89° 54' 23" West, a distance of 558.88 feet to the TRUE POINT OF

BEGINNING.

Received

The above legal description is also referred to as "Legal Description of Parcel "1" Per PA-10-19", as shown on Notice of Lot Line Adjustment Recorded September 30, 2010, Instrument No. 2010-128849, San Joaquin County Records.

SEP 15 2014

Oakdale ID

Parcel Two:

A portion of Lot 6 (six) as shown on that certain map entitled "Moorland Farm Colony of the Moorland Farm Company" filed for record the 9th day of December, 1912, in Volume 6 (six) of Maps and Plats, at Page 49 (forty-nine), San Joaquin County Records, and a portion of the Northwest Quarter of the Northwest Quarter of Section 13 (thirteen), Township 1 (one) South, Range 9 (nine) East, Mount Diablo Base and Meridian, County of San Joaquin, State of California and more particularly described as follows:

Commencing at the Southeasterly corner of said Section 13; thence along the Southerly line of said Section 13, North 89° 58' 11" West, a distance of 1090.14 feet to the Southwesterly right-of-way line of said Stockton and Visalia Railroad Company parcel being also the Northeasterly right-of-way line of Corneta Road (a 40-foot wide road); thence along said Southwesterly railroad right-of-way line, North 43° 49' 19" West, a distance of 1181.81 feet to the Westerly prolongation of the Southerly line of Parcel "8" (eight) as described in that certain Grant Deed to August L. Martin and Elsie B. Martin, trustees and their successor trustees, of the Martin Living Trust, dated June 6, 1994, said Deed being recorded 23rd day of November, 1994, as Instrument No. 94126874, San Joaquin County Records; thence continuing along said Southwesterly railroad right-of-way line, North 43° 49' 19" West, a distance of 5010.76 feet to the Westerly line of said Section 13; thence along said Westerly line of Section 13, North 01° 52' 38" West, a distance of 40.55 feet to a point which bears South 01° 52' 38" East, a distance of 799.80 feet from the Northwest corner of said Section 13; thence parallel with the Northerly line of said Section 13, North 89° 54' 23" East, a distance of 1147.95 feet to the TRUE POINT OF BEGINNING; thence parallel with said Westerly line of Section 13, North 01° 52' 38" West, a distance of 799.80 feet to said Northerly line of Section 13; thence along said Northerly line of Section 13, North 89° 54' 23" East, a distance of 558.88 feet; thence parallel with said Westerly line of Section 13, South 01° 52' 38" East, a distance of 799.80 feet to a point which bears North 89° 54' 23" East, a distance of 558.88 feet from said TRUE POINT OF BEGINNING; thence South 89° 54' 23" West, a distance of 558.88 feet to the TRUE POINT OF BEGINNING.

The above legal description is also referred to as "Legal Description of Parcel "2" Per PA-10-19", as shown on Notice of Lot Line Adjustment Recorded September 30, 2010, Instrument No. 2010-128849, San Joaquin County Records.

Parcel Three:

A portion of Lot 6 (six) as shown on that certain map entitled "Moorland Farm Colony of the Moorland Farm Company" filed for record the 9th day of December, 1912, in Volume 6 (six) of Maps and Plats, at Page 49 (forty-nine), San Joaquin County Records, located in the Northwest Quarter of Section 13 (thirteen), Township 1 (one) South, Range 9 (nine) East, Mount Diablo Base and Meridian, County of San Joaquin, State of California and more particularly described as follows:

Commencing at the Southeasterly corner of said Section 13; thence along the Southerly line of said Section 13, North 89° 58' 11" West, a distance of 1090.14 feet to the Southwesterly right-of-way line of said Stockton and Visalia Railroad Company parcel being also the Northeasterly right-of-way line of Corneta Road (a 40-foot wide road); thence along said Southwesterly railroad right-of-way line, North 43° 49' 19" West, a distance of 1181.81 feet to the Westerly prolongation of the Southerly line of Parcel "8" (eight) as described in that certain Grant Deed to August L. Martin and Elsie B. Martin, trustees and their successor trustees, of the Martin Living Trust, dated June 6, 1994, said Deed being recorded 23rd day of November, 1994, as Instrument No. 94126874, San Joaquin County Records; thence continuing along said Southwesterly railroad right-of-way line, North 43° 49' 19" West, a distance of 5010.76 feet to the Westerly line of said Section 13; thence along said Westerly line of Section 13, North 01° 52' 38" West, a distance of 40.55 feet to a point which bears South 01° 52' 38" East, a distance of 799.80 feet from the Northwest corner of said Section 13; thence parallel with the Northerly line of said Section 13, North 89° 54' 23" East, a distance of 1706.83 feet to the TRUE POINT OF BEGINNING; thence parallel with said Westerly line of Section 13, North 01° 52' 38" West, a distance of 799.80 feet to said Northerly line of Section 13; thence along said Northerly line of Section 13, North 89° 54' 23" East, a distance of 558.88 feet; thence parallel with said Westerly line of Section 13, South 01° 52' 38" East, a distance of 799.80

EXHIBIT "A" (continued)

feet to a point which bears North 89° 54' 23" East, a distance of 558.88 feet from said TRUE POINT OF BEGINNING; thence South 89° 54' 23" West, a distance of 558.88 feet to the TRUE POINT OF BEGINNING.

The above legal description is also referred to as "Legal Description of Parcel "3" Per PA-10-19", as shown on Notice of Lot Line Adjustment Recorded September 30, 2010, Instrument No. 2010-128849, San Joaquin County Records.

Received

SEP 15 2014

Oakdale ID

Parcel Four:

All of Lot(s) 7 (seven), 8 (eight), 9 (nine) and 34 (thirty-four) and a portion of Lot(s) 6 six and 33 (thirty-three) as shown on that certain map entitled "Moorland Farm Colony of the Moorland Farm Company" filed for record the 9th day of December, 1912, in Volume 6 (six) of Maps and Plats, at Page 49 (forty-nine), San Joaquin County Records, and a portion of that certain railroad right-of-way parcel described in Grant Deed to the Stockton and Visalia Railroad Company recorded the 14th day of December, 1871, in Book "A" of Deeds, Volume 24 (twenty-four), at Page 161 (one-hundred sixty-one), San Joaquin County Records, all located in Section 13 (thirteen), Township 1 (one) South, Range 9 (nine) East, Mount Diablo Base and Meridian, County of San Joaquin, State of California and more particularly described as follows:

Commencing at the Southeasterly corner of said Section 13; thence along the Southerly line of said Section 13, North 89° 58' 11" West, a distance of 1090.14 feet to the Southwesterly right-of-way line of said Stockton and Visalia Railroad Company parcel being also the Northeasterly right-of-way line of Corneta Road (a 40-foot wide road); thence along said Southwesterly railroad right-of-way line, North 43° 49' 19" West, a distance of 1181.81 feet to the Westerly prolongation of the Southerly line of Parcel "8" (eight) as described in that certain Grant Deed to August L. Martin and Elsie B. Martin, trustees and their successor trustees, of the Martin Living Trust, dated June 6, 1994, said Deed being recorded 23rd day of November, 1994, as Instrument No. 94126874, San Joaquin County Records; thence continuing along said Southwesterly railroad right-of-way line, North 43° 49' 19" West, a distance of 2070.78 feet to the TRUE POINT OF BEGINNING; thence continuing along said Southwesterly railroad right-of-way line, North 43° 49' 19" West, a distance of 2939.98 feet to the Westerly line of said Section 13; thence along said Westerly line of Section 13, North 01° 52' 38" West, a distance of 40.55 feet to a point which bears South 01° 52' 38" East, a distance of 799.80 feet from the Northwest corner of said Section 13; thence parallel with the Northerly line of said Section 13, North 89° 54' 23" East, a distance of 2265.71 feet; thence parallel with said Westerly line of Section 13, North 01° 52' 38" West, a distance of 799.80 feet to said Northerly line of Section 13; thence along said Northerly line of Section 13, North 89° 54' 23" East, a distance of 368.82 feet to the Northeasterly corner of said Lot 6; thence along the Easterly line of said Lots 6, 7 and 9, South 01° 45' 17" East, a distance of 2660.06 feet to the Northeasterly corner of said Lot 33; thence along the Northerly line of said Lot 33, South 89° 57' 09" West, a distance of 419.96 feet; thence parallel with said Southwesterly railroad right-of-way line, South 43° 49' 19" East, a distance of 59.74 feet to a point which bears North 46° 10' 41" East, a distance of 380.00 feet from said TRUE POINT OF BEGINNING; thence South 46° 10' 41" West, a distance of 380.00 feet to the TRUE POINT OF BEGINNING.

The above legal description is also referred to as "Legal Description of Parcel "4" Per PA-10-19", as shown on Notice of Lot Line Adjustment Recorded September 30, 2010, Instrument No. 2010-128849, San Joaquin County Records.

TRACT G:

Parcel One:

A portion of Lot(s) 6, 7 (seven) and 34 (thirty-four) as shown on that certain map entitled "Moorland Farm Colony of the Moorland Farm Company" filed for record the 9th day of December, 1912, in Volume 6 (six) of Maps and Plats, at Page 49 (forty-nine), San Joaquin County Records, and a portion of that certain railroad right-of-way parcel described in Grant Deed to the Stockton and Visalia Railroad Company recorded the 14th day of December, 1871, in Book "A" of Deeds, Volume 24 (twenty-four), at Page 161 (one-hundred sixty-one), San Joaquin County Records, all located in Section 13 (thirteen), Township 1 (one) South, Range 9 (nine) East, Mount Diablo Base and Meridian, County of San Joaquin, State of California and more particularly described as follows:

Commencing at the Southeasterly corner of said Section 13; thence along the Southerly line of said Section 13, North 89° 58' 11" West, a distance of 1090.14 feet to the Southwesterly right-of-way line of

said Stockton and Visalia Railroad Company parcel being also the Northeasterly right-of-way line of Corneta Road (a 40-foot wide road); thence along said Southwesterly railroad right-of-way line, North 43° 49' 19" West, a distance of 1181.81 feet to the Westerly prolongation of the Southerly line of Parcel "8" (eight) as described in that certain Grant Deed to August L. Martin and Elsie B. Martin, trustees and their successor trustees, of the Martin Living Trust, dated June 6, 1994, said Deed being recorded 23rd day of November, 1994, as Instrument No. 94126874, San Joaquin County Records; thence continuing along said Southwesterly railroad right-of-way line, North 43° 49' 19" West, a distance of 3268.84 feet to the TRUE POINT OF BEGINNING; thence continuing along said Southwesterly railroad right-of-way line, North 43° 49' 19" West, a distance of 438.34 feet; thence perpendicular to said Southwesterly railroad right-of-way line, North 46° 10' 41" East, a distance of 993.74 feet; thence parallel with said Southwesterly railroad right-of-way line, South 43° 49' 19" East, a distance of 438.34 feet to a point which bears North 46° 10' 41" East, a distance of 993.74 feet from said TRUE POINT OF BEGINNING; thence South 46° 10' 41" West, a distance of 993.74 feet to the TRUE POINT OF BEGINNING.

Received
SEP 15 2014
Oakdale ID

The above legal description is also referred to as "Legal Description of Parcel "1" Per PA-10-20", as shown on Notice of Lot Line Adjustment Recorded September 30, 2010, Instrument No. 2010-128851, San Joaquin County Records.

Parcel Two:

A portion of Lot(s) 6, 7 (seven) and 34 (thirty-four) as shown on that certain map entitled "Moorland Farm Colony of the Moorland Farm Company" filed for record the 9th day of December, 1912, in Volume 6 (six) of Maps and Plats, at Page 49 (forty-nine), San Joaquin County Records, and a portion of that certain railroad right-of-way parcel described in Grant Deed to the Stockton and Visalia Railroad Company recorded the 14th day of December, 1871, in Book "A" of Deeds, Volume 24 (twenty-four), at Page 161 (one-hundred sixty-one), San Joaquin County Records, all located in Section 13 (thirteen), Township 1 (one) South, Range 9 (nine) East, Mount Diablo Base and Meridian, County of San Joaquin, State of California and more particularly described as follows:

Commencing at the Southeasterly corner of said Section 13; thence along the Southerly line of said Section 13, North 89° 58' 11" West, a distance of 1090.14 feet to the Southwesterly right-of-way line of said Stockton and Visalia Railroad Company parcel being also the Northeasterly right-of-way line of Corneta Road (a 40-foot wide road); thence along said Southwesterly railroad right-of-way line, North 43° 49' 19" West, a distance of 1181.81 feet to the Westerly prolongation of the Southerly line of Parcel "8" (eight) as described in that certain Grant Deed to August L. Martin and Elsie B. Martin, trustees and their successor trustees, of the Martin Living Trust, dated June 6, 1994, said Deed being recorded 23rd day of November, 1994, as Instrument No. 94126874, San Joaquin County Records; thence continuing along said Southwesterly railroad right-of-way line, North 43° 49' 19" West, a distance of 3707.18 feet to the TRUE POINT OF BEGINNING; thence continuing along said Southwesterly railroad right-of-way line, North 43° 49' 19" West, a distance of 438.34 feet; thence perpendicular to said Southwesterly railroad right-of-way line, North 46° 10' 41" East, a distance of 962.66 feet to a point that is 799.80 feet Southerly from the Northerly line of said Section 13 (measured parallel with the Westerly line of said Section 13); thence parallel with said Northerly line of Section 13, North 89° 54' 23" East, a distance of 43.01 feet; thence parallel with said Southwesterly railroad right-of-way line, South 43° 49' 19" East, a distance of 409.08 feet to a point which bears North 46° 10' 41" East, a distance of 993.74 feet from said TRUE POINT OF BEGINNING; thence South 46° 10' 41" West, a distance of 993.74 feet to the TRUE POINT OF BEGINNING.

The above legal description is also referred to as "Legal Description of Parcel "2" Per PA-10-20", as shown on Notice of Lot Line Adjustment Recorded September 30, 2010, Instrument No. 2010-128851, San Joaquin County Records.

Parcel Three:

A portion of Lot 34 (thirty-four) as shown on that certain map entitled "Moorland Farm Colony of the Moorland Farm Company" filed for record the 9th day of December, 1912, in Volume 6 (six) of Maps and Plats, at Page 49 (forty-nine), San Joaquin County Records, and a portion of that certain railroad right-of-way parcel described in Grant Deed to the Stockton and Visalia Railroad Company recorded the 14th day of December, 1871, in Book "A" of Deeds, Volume 24 (twenty-four), at Page 161 (one-hundred sixty-one), San Joaquin County Records, all located in Section 13 (thirteen), Township 1 (one) South, Range 9 (nine) East, Mount Diablo Base and Meridian, County of San Joaquin, State of California and more particularly described as follows:

Received
SEP 15 2014
Oakdale ID

Commencing at the Southeasterly corner of said Section 13; thence along the Southerly line of said Section 13, North 89° 58' 11" West, a distance of 1090.14 feet to the Southwesterly right-of-way line of said Stockton and Visalia Railroad Company parcel being also the Northeasterly right-of-way line of Corneta Road (a 40-foot wide road); thence along said Southwesterly railroad right-of-way line, North 43° 49' 19" West, a distance of 1181.81 feet to the Westerly prolongation of the Southerly line of Parcel "8" (eight) as described in that certain Grant Deed to August L. Martin and Elsie B. Martin, trustees and their successor trustees, of the Martin Living Trust, dated June 6, 1994, said Deed being recorded 23rd day of November, 1994, as Instrument No. 94126874, San Joaquin County Records; thence continuing along said Southwesterly railroad right-of-way line, North 43° 49' 19" West, a distance of 4145.99 feet to the TRUE POINT OF BEGINNING; thence continuing along said Southwesterly railroad right-of-way line, North 43° 49' 19" West, a distance of 864.77 feet to the Westerly line of said Section 13; thence along said Westerly line of Section 13, North 01° 52' 38" West, a distance of 40.55 feet to a point which bears South 01° 52' 38" East, a distance of 799.80 feet from the Northwest corner of said Section 13; thence parallel with the Northerly line of said Section 13, North 89° 54' 23" East, a distance of 1294.67 feet to a point which bears North 46° 10' 41" East, a distance of 962.66 feet from said TRUE POINT OF BEGINNING; thence South 46° 10' 41" West, a distance of 962.66 feet to the TRUE POINT OF BEGINNING.

The above legal description is also referred to as "Legal Description of Parcel "3" Per PA-10-20", as shown on Notice of Lot Line Adjustment Recorded September 30, 2010, Instrument No. 2010-128851, San Joaquin County Records.

Parcel Four:

All of Lot(s) 5 (five), 8 (eight), 9 (nine), 10 (ten) and 11 (eleven) and a portion of Lot(s) 6 (six), 7 (seven), 33 (thirty-three) and 34 (thirty-four) as shown on that certain map entitled "Moorland Farm Colony of the Moorland Farm Company" filed for record the 9th day of December, 1912, in Volume 6 (six) of Maps and Plats, at Page 49 (forty-nine), San Joaquin County Records, and a portion of that certain railroad right-of-way parcel described in Grant Deed to the Stockton and Visalia Railroad Company recorded the 14th day of December, 1871, in Book "A" of Deeds, Volume 24 (twenty-four), at Page 161 (one-hundred sixty-one), San Joaquin County Records, all located in Section 13 (thirteen), Township 1 (one) South, Range 9 (nine) East, Mount Diablo Base and Meridian, County of San Joaquin, State of California and more particularly described as follows:

Commencing at the Southeasterly corner of said Section 13; thence along the Southerly line of said Section 13, North 89° 58' 11" West, a distance of 1090.14 feet to the Southwesterly right-of-way line of said Stockton and Visalia Railroad Company parcel being also the Northeasterly right-of-way line of Corneta Road (a 40-foot wide road); thence along said Southwesterly railroad right-of-way line, North 43° 49' 19" West, a distance of 1181.81 feet to the Westerly prolongation of the Southerly line of Parcel "8" (eight) as described in that certain Grant Deed to August L. Martin and Elsie B. Martin, trustees and their successor trustees, of the Martin Living Trust, dated June 6, 1994, said Deed being recorded 23rd day of November, 1994, as Instrument No. 94126874, San Joaquin County Records; thence continuing along said Southwesterly railroad right-of-way line, North 43° 49' 19" West, a distance of 2070.78 feet to the TRUE POINT OF BEGINNING; thence continuing along said Southwesterly railroad right-of-way line, North 43° 49' 19" West, a distance of 1198.06 feet; thence perpendicular to said Southwesterly railroad right-of-way line, North 46° 10' 41" East, a distance of 993.74 feet; thence parallel with said Southwesterly railroad right-of-way line, North 43° 49' 19" West, a distance of 847.42 feet to a point that is 799.80 feet Southerly from the Northerly line of said Section 13 (measured parallel with the Westerly line of said Section 13); thence parallel with said Northerly line of Section 13, North 89° 54' 23" East, a distance of 928.05 feet; thence parallel with said Westerly line of Section 13, North 01° 52' 38" West, a distance of 799.80 feet to said Northerly line of Section 13; thence along said Northerly line of Section 13, North 89° 54' 23" East, a distance of 1686.90 feet to the Northeasterly corner of said Lot 5; thence along the Easterly line of said Lots 5 and 11, South 01° 33' 47" East, a distance of 2660.87 feet to the Southeasterly corner of said Lot 11, thence along the Southerly lines of said Lots 11, 10 and 9, South 89° 57' 09" West, a distance of 1729.17 feet; thence parallel with said Southwesterly railroad right-of-way line, South 43° 49' 19" East, a distance of 59.74 feet to a point which bears North 46° 10' 41" East, a distance of 380.00 feet from said TRUE POINT OF BEGINNING; thence South 46° 10' 41" West, a distance of 380.00 feet to the TRUE POINT OF BEGINNING.

The above legal description is also referred to as "Legal Description of Parcel "4" Per PA-10-20", as shown on Notice of Lot Line Adjustment Recorded September 30, 2010, Instrument No. 2010-128851, San Joaquin County Records.

Received

SEP 15 2014

TRACT H:**Parcel One:**

A portion of Lot(s) 8 (eight), 9 (nine), 10 (ten) and 33 (thirty-three) as shown on that certain map entitled "Moorland Farm Colony of the Moorland Farm Company" filed for record the 9th day of December, 1912, in Volume 6 (six) of Maps and Plats, at Page 49 (forty-nine), San Joaquin County Records, and a portion of that certain railroad right-of-way parcel described in Grant Deed to the Stockton and Visalia Railroad Company recorded the 14th day of December, 1871, in Book "A" of Deeds, Volume 24 (twenty-four), at Page 161 (one-hundred sixty-one), San Joaquin County Records, all located in Section 13 (thirteen), Township 1 (one) South, Range 9 (nine) East, Mount Diablo Base and Meridian, County of San Joaquin, State of California and more particularly described as follows:

Commencing at the Southeasterly corner of said Section 13; thence along the Southerly line of said Section 13, North 89° 58' 11" West, a distance of 1090.14 feet to the Southwesterly right-of-way line of said Stockton and Visalia Railroad Company parcel being also the Northeasterly right-of-way line of Corneta Road (a 40-foot wide road); thence along said Southwesterly railroad right-of-way line, North 43° 49' 19" West, a distance of 1181.81 feet to the Westerly prolongation of the Southerly line of Parcel "8" (eight) as described in that certain Grant Deed to August L. Martin and Elsie B. Martin, trustees and their successor trustees, of the Martin Living Trust, dated June 6, 1994, said Deed being recorded 23rd day of November, 1994, as Instrument No. 94126874, San Joaquin County Records; thence continuing along said Southwesterly railroad right-of-way line, North 43° 49' 19" West, a distance of 2070.78 feet to the TRUE POINT OF BEGINNING; thence continuing along said Southwesterly railroad right-of-way line, North 43° 49' 19" West, a distance of 321.37 feet; thence perpendicular to said Southwesterly railroad right-of-way line, North 46° 10' 41" East, a distance of 993.74 feet; thence parallel with said Southwesterly railroad right-of-way line, South 43° 49' 19" East, a distance of 510.77 feet; thence perpendicular to said Southwesterly railroad right-of-way line, South 46° 10' 41" West, a distance of 613.74 feet to a point which bears North 46° 10' 41" East, a distance of 380.00 feet and South 43° 49' 19" East, a distance of 189.40 feet from said TRUE POINT OF BEGINNING; thence North 43° 49' 19" West, a distance of 189.40 feet; thence South 46° 10' 41" West, a distance of 380.00 feet to the TRUE POINT OF BEGINNING.

The above legal description is also referred to as "Legal Description of Parcel "1" Per PA-10-21", as shown on Notice of Lot Line Adjustment Recorded September 30, 2010, Instrument No. 2010-128853, San Joaquin County Records.

Parcel Two:

A portion of Lot(s) 7 (seven), 8 (eight) and 9 (nine) as shown on that certain map entitled "Moorland Farm Colony of the Moorland Farm Company" filed for record the 9th day of December, 1912, in Volume 6 (six) of Maps and Plats, at Page 49 (forty-nine), San Joaquin County Records, and a portion of that certain railroad right-of-way parcel described in Grant Deed to the Stockton and Visalia Railroad Company recorded the 14th day of December, 1871, in Book "A" of Deeds, Volume 24 (twenty-four), at Page 161 (one-hundred sixty-one), San Joaquin County Records, all located in Section 13 (thirteen), Township 1 (one) South, Range 9 (nine) East, Mount Diablo Base and Meridian, County of San Joaquin, State of California and more particularly described as follows:

Commencing at the Southeasterly corner of said Section 13; thence along the Southerly line of said Section 13, North 89° 58' 11" West, a distance of 1090.14 feet to the Southwesterly right-of-way line of said Stockton and Visalia Railroad Company parcel being also the Northeasterly right-of-way line of Corneta Road (a 40-foot wide road); thence along said Southwesterly railroad right-of-way line, North 43° 49' 19" West, a distance of 1181.81 feet to the Westerly prolongation of the Southerly line of Parcel "8" (eight) as described in that certain Grant Deed to August L. Martin and Elsie B. Martin, trustees and their successor trustees, of the Martin Living Trust, dated June 6, 1994, said Deed being recorded 23rd day of November, 1994, as Instrument No. 94126874, San Joaquin County Records; thence continuing along said Southwesterly railroad right-of-way line, North 43° 49' 19" West, a distance of 2392.15 feet to the TRUE POINT OF BEGINNING; thence continuing along said Southwesterly railroad right-of-way line, North 43° 49' 19" West, a distance of 438.34 feet; thence perpendicular to said Southwesterly railroad right-of-way line, North 46° 10' 41" East, a distance of 993.74 feet; thence parallel with said Southwesterly railroad right-of-way line, South 43° 49' 19" East, a distance of 438.34 feet to a point which bears North 46° 10' 41" East, a distance of 993.74 feet from said TRUE POINT OF BEGINNING; thence South 46° 10' 41" West, a distance of 993.74 feet to the TRUE POINT OF BEGINNING.

The above legal description is also referred to as "Legal Description of Parcel "2" Per PA-10-21", as shown on Notice of Lot Line Adjustment Recorded September 30, 2010, Instrument No. 2010-128853, San Joaquin County Records.

Received

SEP 15 2014

Oakdale ID

Parcel Three:

A portion of Lot(s) 7 (seven), 8 (eight) and 34 (thirty-four) as shown on that certain map entitled "Moorland Farm Colony of the Moorland Farm Company" filed for record the 9th day of December, 1912, in Volume 6 (six) of Maps and Plats, at Page 49 (forty-nine), San Joaquin County Records, and a portion of that certain railroad right-of-way parcel described in Grant Deed to the Stockton and Visalia Railroad Company recorded the 14th day of December, 1871, in Book "A" of Deeds, Volume 24 (twenty-four), at Page 161 (one-hundred sixty-one), San Joaquin County Records, all located in Section 13 (thirteen), Township 1 (one) South, Range 9 (nine) East, Mount Diablo Base and Meridian, County of San Joaquin, State of California and more particularly described as follows:

Commencing at the Southeasterly corner of said Section 13; thence along the Southerly line of said Section 13, North 89° 58' 11" West, a distance of 1090.14 feet to the Southwesterly right-of-way line of said Stockton and Visalia Railroad Company parcel being also the Northeasterly right-of-way line of Corneta Road (a 40-foot wide road); thence along said Southwesterly railroad right-of-way line, North 43° 49' 19" West, a distance of 1181.81 feet to the Westerly prolongation of the Southerly line of Parcel "8" (eight) as described in that certain Grant Deed to August L. Martin and Elsie B. Martin, trustees and their successor trustees, of the Martin Living Trust, dated June 6, 1994, said Deed being recorded 23rd day of November, 1994, as Instrument No. 94126874, San Joaquin County Records; thence continuing along said Southwesterly railroad right-of-way line, North 43° 49' 19" West, a distance of 2830.49 feet to the TRUE POINT OF BEGINNING; thence continuing along said Southwesterly railroad right-of-way line, North 43° 49' 19" West, a distance of 438.34 feet; thence perpendicular to said Southwesterly railroad right-of-way line, North 46° 10' 41" East, a distance of 993.74 feet; thence parallel with said Southwesterly railroad right-of-way line, South 43° 49' 19" East, a distance of 438.34 feet to a point which bears North 46° 10' 41" East, a distance of 993.74 feet from said TRUE POINT OF BEGINNING; thence South 46° 10' 41" West, a distance of 993.74 feet to the TRUE POINT OF BEGINNING.

The above legal description is also referred to as "Legal Description of Parcel "3" Per PA-10-21", as shown on Notice of Lot Line Adjustment Recorded September 30, 2010, Instrument No. 2010-128853, San Joaquin County Records.

Parcel Four:

All of Lot(s) 5 (five), 11 (eleven), 26 (twenty-six), 27 (twenty-seven) and 28 (twenty-eight) and a portion of Lot(s) 6, 7 (seven), 9 (nine), 10 (ten), 29 (twenty-nine), 30 (thirty), 31 (thirty-one), 32 (thirty-two), 33 (thirty-three) and 39 (thirty-nine) as shown on that certain map entitled "Moorland Farm Colony of the Moorland Farm Company" filed for record the 9th day of December, 1912, in Volume 6 (six) of Maps and Plats, at Page 49 (forty-nine), San Joaquin County Records, all located in Section 13 (thirteen), Township 1 (one) South, Range 9 (nine) East, Mount Diablo Base and Meridian, County of San Joaquin, State of California and more particularly described as follows:

Commencing at the Southeasterly corner of said Section 13; thence along the Southerly line of said Section 13, North 89° 58' 11" West, a distance of 1090.14 feet to the Southwesterly right-of-way line of said Stockton and Visalia Railroad Company parcel being also the Northeasterly right-of-way line of Corneta Road (a 40-foot wide road); thence along said Southwesterly railroad right-of-way line, North 43° 49' 19" West, a distance of 1181.81 feet to the Westerly prolongation of the Southerly line of Parcel "8" (eight) as described in that certain Grant Deed to August L. Martin and Elsie B. Martin, trustees and their successor trustees, of the Martin Living Trust, dated June 6, 1994, said Deed being recorded 23rd day of November, 1994, as Instrument No. 94126874, San Joaquin County Records; thence continuing along said Southwesterly railroad right-of-way line, North 43° 49' 19" West, a distance of 2070.78 feet; thence perpendicular to said Southwesterly railroad right-of-way line, North 46° 10' 41" East, a distance of 380.00 feet; thence parallel with said Southwesterly railroad right-of-way line, South 43° 49' 19" East, a distance of 189.40 feet to the TRUE POINT OF BEGINNING; thence perpendicular to said Southwesterly railroad right-of-way line, North 46° 10' 41" East, a distance of 613.74 feet; thence parallel with said Southwesterly railroad right-of-way line, North 43° 49' 19" West, a distance of 2234.87 feet to a point that is 799.80 feet Southerly from the Northerly line of said Section 13 (measured parallel with the Westerly line of said Section 13); thence parallel with said Northerly line of Section 13, North 89° 54' 23"

Received

SEP 15 2014

Oakdale ID

East, a distance of 928.05 feet; thence parallel with said Westerly line of Section 13, North 01° 52' 38" West, a distance of 799.80 feet to said Northerly line of Section 13; thence along said Northerly line of Section 13, North 89° 54' 23" East, a distance of 1686.90 feet to the Northeasterly corner of said Lot 5; thence along the Easterly line of said Lots 5, 11 and 27, South 01° 33' 47" East, a distance of 3325.34 feet to the Southeasterly corner of said Lot 27; thence along the Northerly line of said Lot 26, north 89° 58' 31" East, a distance of 659.41 feet to the Northeasterly corner of said Lot 26; thence along the Easterly line of said Lot 26, South 01° 34' 27" East, a distance of 663.08 feet to the Southeasterly corner of said Lot 26; thence along the Southerly line of said Lot 26, South 89° 59' 42" West, a distance of 659.54 feet to the Northeasterly corner of said Lot 39; thence along the Easterly line of said Lot 39, South 01° 33' 47" East, a distance of 476.00 feet to the Southeasterly corner of said Parcel "8"; thence along the Southerly line of said Parcel "8", South 89° 59' 52" West, a distance of 278.22 feet; thence perpendicular to said Southerly line of Parcel "8", North 00° 00' 18" West, a distance of 237.17 feet to a point which bears South 43° 49' 19" East, a distance of 1917.32 feet from said TRUE POINT OF BEGINNING; thence North 43° 49' 19" West, a distance of 1917.32 feet to the TRUE POINT OF BEGINNING.

The above legal description is also referred to as "Legal Description of Parcel "4" Per PA-10-21", as shown on Notice of Lot Line Adjustment Recorded September 30, 2010, Instrument No. 2010-128853, San Joaquin County Records.

TRACT I:

Parcel One:

A portion of Lot(s) 26 (twenty-six), 28 (twenty-eight), 29 (twenty-nine) and 39 (thirty-nine) as shown on that certain map entitled "Moorland Farm Colony of the Moorland Farm Company" filed for record the 9th day of December, 1912, in Volume 6 (six) of Maps and Plats, at Page 49 (forty-nine), San Joaquin County Records, all located in Section 13 (thirteen), Township 1 (one) South, Range 9 (nine) East, Mount Diablo Base and Meridian, County of San Joaquin, State of California and more particularly described as follows:

Commencing at the Southeasterly corner of said Section 13; thence along the Southerly line of said Section 13, North 89° 58' 11" West, a distance of 1090.14 feet to the Southwesterly right-of-way line of said Stockton and Visalia Railroad Company parcel being also the Northeasterly right-of-way line of Corneta Road (a 40-foot wide road); thence along said Southwesterly railroad right-of-way line, North 43° 49' 19" West, a distance of 1181.81 feet to the Westerly prolongation of the Southerly line of Parcel "8" (eight) as described in that certain Grant Deed to August L. Martin and Elsie B. Martin, trustees and their successor trustees, of the Martin Living Trust, dated June 6, 1994, said Deed being recorded 23rd day of November, 1994, as Instrument No. 94126874, San Joaquin County Records; thence along the Westerly prolongation of the Southerly line of Parcel "8" and along the Southerly line of said Parcel "8", North 89° 59' 42" East, a distance of 299.07 feet to a point which bears South 89° 59' 42" West, a distance of 278.22 feet from the Southeasterly corner of said Parcel "8" and being the TRUE POINT OF BEGINNING; thence perpendicular to said Southerly line of Parcel "8", North 00° 00' 18" West, a distance of 237.17 feet; thence parallel with said Southwesterly railroad right-of-way line, North 43° 49' 19" West, a distance of 497.83 feet; thence perpendicular to said Southwesterly railroad right-of-way line, North 46° 10' 41" East, a distance of 613.74 feet; thence parallel with said Southwesterly railroad right-of-way line, South 43° 49' 19" East, a distance of 624.95 feet; thence perpendicular to Southerly line of said Lot 26, South 00° 00' 18" East, a distance of 94.55 feet to said Southerly line of Lot 26; thence along said Southerly line of Lot 26, South 89° 59' 42" West, a distance of 265.58 feet to the Northeasterly corner of said Lot 39; thence along the Easterly line of said Lot 39, South 01° 33' 47" East, a distance of 476.00 feet to said Southeasterly corner of Parcel "8"; thence along said Southerly line of Parcel "8", South 89° 59' 42" West, a distance of 278.22 feet to the TRUE POINT OF BEGINNING.

The above legal description is also referred to as "Legal Description of Parcel "1" Per PA-10-22", as shown on Notice of Lot Line Adjustment Recorded September 30, 2010, Instrument No. 2010-128855, San Joaquin County Records.

Parcel Two:

A portion of Lot(s) 27 (twenty-seven), 28 (twenty-eight), 29 (twenty-nine), 30 (thirty), 31 (thirty-one) and 32 (thirty-two) as shown on that certain map entitled "Moorland Farm Colony of the Moorland Farm Company" filed for record the 9th day of December, 1912, in Volume 6 (six) of Maps and Plats, at Page 49 (forty-nine), San Joaquin County Records, all located in Section 13 (thirteen), Township 1 (one) South,

Received

SEP 15 2014

Oakdale ID

Range 9 (nine) East, Mount Diablo Base and Meridian, County of San Joaquin, State of California and more particularly described as follows:

Commencing at the Southeasterly corner of said Section 13; thence along the Southerly line of said Section 13, North 89° 58' 11" West, a distance of 1090.14 feet to the Southwesterly right-of-way line of said Stockton and Visalia Railroad Company parcel being also the Northeasterly right-of-way line of Corneta Road (a 40-foot wide road); thence along said Southwesterly railroad right-of-way line, North 43° 49' 19" West, a distance of 1181.81 feet to the Westerly prolongation of the Southerly line of Parcel "8" (eight) as described in that certain Grant Deed to August L. Martin and Elsie B. Martin, trustees and their successor trustees, of the Martin Living Trust, dated June 6, 1994, said Deed being recorded 23rd day of November, 1994, as Instrument No. 94126874, San Joaquin County Records; thence along the Westerly prolongation of the Southerly line of Parcel "8" and along the Southerly line of said Parcel "8", North 89° 59' 42" East, a distance of 299.07 feet to a point which bears South 89° 59' 42" West, a distance of 278.22 feet from the Southeasterly corner of said Parcel "8"; thence perpendicular to said Southerly line of Parcel "8", North 00° 00' 18" West, a distance of 237.17 feet; thence parallel with said Southwesterly railroad right-of-way line, North 43° 49' 19" West, a distance of 497.83 feet to the TRUE POINT OF BEGINNING; thence parallel with said Southwesterly railroad right-of-way line, North 43° 49' 19" West, a distance of 893.89 feet; thence North 77° 08' 41" East, a distance of 715.76 feet; thence parallel with said Southwesterly railroad right-of-way line, South 43° 49' 19" East, a distance of 525.60 feet to a point which bears North 46° 10' 41" East, a distance of 613.74 feet from said TRUE POINT OF BEGINNING; thence South 46° 10' 41" West, a distance of 613.74 feet to the TRUE POINT OF BEGINNING.

The above legal description is also referred to as "Legal Description of Parcel "2" Per PA-10-22", as shown on Notice of Lot Line Adjustment Recorded September 30, 2010, Instrument No. 2010-128855, San Joaquin County Records.

Parcel Three:

A portion of Lot(s) 9 (nine), 10 (ten), 27 (twenty-seven), 30 (thirty), and 33 (thirty-three) as shown on that certain map entitled "Moorland Farm Colony of the Moorland Farm Company" filed for record the 9th day of December, 1912, in Volume 6 (six) of Maps and Plats, at Page 49 (forty-nine), San Joaquin County Records, all located in Section 13 (thirteen), Township 1 (one) South, Range 9 (nine) East, Mount Diablo Base and Meridian, County of San Joaquin, State of California and more particularly described as follows:

Commencing at the Southeasterly corner of said Section 13; thence along the Southerly line of said Section 13, North 89° 58' 11" West, a distance of 1090.14 feet to the Southwesterly right-of-way line of said Stockton and Visalia Railroad Company parcel being also the Northeasterly right-of-way line of Corneta Road (a 40-foot wide road); thence along said Southwesterly railroad right-of-way line, North 43° 49' 19" West, a distance of 1181.81 feet to the Westerly prolongation of the Southerly line of Parcel "8" (eight) as described in that certain Grant Deed to August L. Martin and Elsie B. Martin, trustees and their successor trustees, of the Martin Living Trust, dated June 6, 1994, said Deed being recorded 23rd day of November, 1994, as Instrument No. 94126874, San Joaquin County Records; thence along the Westerly prolongation of the Southerly line of Parcel "8" and along the Southerly line of said Parcel "8", North 89° 59' 42" East, a distance of 299.07 feet to a point which bears South 89° 59' 42" West, a distance of 278.22 feet from the Southeasterly corner of said Parcel "8"; thence perpendicular to said Southerly line of Parcel "8", North 00° 00' 18" West, a distance of 237.17 feet; thence parallel with said Southwesterly railroad right-of-way line, North 43° 49' 19" West, a distance of 1391.72 feet to the TRUE POINT OF BEGINNING; thence parallel with said Southwesterly railroad right-of-way line, North 43° 49' 19" West, a distance of 525.60 feet; thence perpendicular to said Southwesterly railroad right-of-way line, North 46° 10' 41" East, a distance of 613.74 feet; thence parallel with said Southwesterly railroad right-of-way line, South 43° 49' 19" East, a distance of 893.89 feet to a point which bears North 77° 08' 41" East, a distance of 715.76 feet from said TRUE POINT OF BEGINNING; thence South 77° 08' 41" West, a distance of 715.76 feet to the TRUE POINT OF BEGINNING.

The above legal description is also referred to as "Legal Description of Parcel "3" Per PA-10-22", as shown on Notice of Lot Line Adjustment Recorded September 30, 2010, Instrument No. 2010-128855, San Joaquin County Records.

Parcel Four:

All of Lot(s) 5 (five), 11 (eleven), 12 (twelve), 24 (twenty-four), and 25 (twenty-five) and a portion of Lot(s) 6, (six), 7 (seven), 9 (nine), 10 (ten), 26 (twenty-six), 27 (twenty-seven), 28 (twenty-eight) and 30

Received

SEP 16 2014

Oakdale ID

(thirty) as shown on that certain map entitled "Moorland Farm Colony of the Moorland Farm Company" filed for record the 9th day of December, 1912, in Volume 6 (six) of Maps and Plats, at Page 49 (forty-nine), San Joaquin County Records, all located in Section 13 (thirteen), Township 1 (one) South, Range 9 (nine) East, Mount Diablo Base and Meridian, County of San Joaquin, State of California and more particularly described as follows:

Commencing at the Southeasterly corner of said Section 13; thence along the Southerly line of said Section 13, North 89° 58' 11" West, a distance of 1090.14 feet to the Southwesterly right-of-way line of said Stockton and Visalia Railroad Company parcel being also the Northeasterly right-of-way line of Corneta Road (a 40-foot wide road); thence along said Southwesterly railroad right-of-way line, North 43° 49' 19" West, a distance of 1181.81 feet to the Westerly prolongation of the Southerly line of Parcel "8" (eight) as described in that certain Grant Deed to August L. Martin and Elsie B. Martin, trustees and their successor trustees, of the Martin Living Trust, dated June 6, 1994, said Deed being recorded 23rd day of November, 1994, as Instrument No. 94126874, San Joaquin County Records; thence along the Westerly prolongation of the Southerly line of Parcel "8" and along the Southerly line of said Parcel "8", North 89° 59' 42" East, a distance of 299.07 feet to a point which bears South 89° 59' 42" West, a distance of 278.22 feet from the Southeasterly corner of said Parcel "8"; thence continuing along the Southerly line of Parcel "8", North 89° 59' 42" East, a distance of 278.22 feet to said Southeasterly corner of Parcel "8"; thence along the Easterly line of Parcel "8", North 01° 33' 47" West, a distance of 476.00 feet to the Southwesterly corner of said Lot 26; thence along the Southerly line of said Lot 26, North 89° 59' 42" East, a distance of 265.58 feet to the TRUE POINT OF BEGINNING; thence perpendicular to the Southerly line of said Lot 26 North 00° 00' 18" West, a distance of 94.55 feet; thence parallel with said Southwesterly railroad right-of-way line, North 43° 49' 19" West, a distance of 4279.32 feet to a point that is 799.80 feet Southerly from the Northerly line of said Section 13 (measured parallel with the Westerly line of said Section 13); thence parallel with said Northerly line of Section 13, North 89° 54' 23" East, a distance of 928.05 feet; thence parallel with said Westerly line of Section 13, North 01° 52' 38" West, a distance of 799.80 feet to said Northerly line of Section 13; thence along said Northerly line of Section 13, North 89° 54' 23" East, a distance of 1686.90 feet to the Northeasterly corner of said Lot 5; thence along the Easterly line of said Lot 5, South 01° 33' 47" East, a distance of 1332.04 feet to the Northwesterly corner of said Lot 12; thence along the Northerly line of said Lot 12, North 89° 54' 09" East, a distance of 659.01 feet to the Northeasterly corner of said Lot 12; thence along the Easterly line of said Lot 12, South 01° 34' 27" East, a distance of 1329.41 feet to the Northwesterly corner of said Lot 24; thence along the Northerly line of said Lot 24, North 89° 57' 09" East, a distance of 653.44 feet to the Northeasterly corner of said Lot 24; thence along the Easterly line of said Lot 24, South 01° 27' 31" East, a distance of 1327.24 feet to the Southeasterly corner of said Lot 24; thence along the Southerly line of said Lots 24 and 26, South 89° 59' 42" West, a distance of 1044.73 feet to the TRUE POINT OF BEGINNING.

The above legal description is also referred to as "Legal Description of Parcel "4" Per PA-10-22", as shown on Notice of Lot Line Adjustment Recorded September 30, 2010, Instrument No. 2010-128855, San Joaquin County Records.

TRACT J:

Parcel One:

A portion of Lot(s) 5 (five) 6, (six), 7 (seven), 9 (nine), and 10 (ten) as shown on that certain map entitled "Moorland Farm Colony of the Moorland Farm Company" filed for record the 9th day of December, 1912, in Volume 6 (six) of Maps and Plats, at Page 49 (forty-nine), San Joaquin County Records, all located in Section 13 (thirteen), Township 1 (one) South, Range 9 (nine) East, Mount Diablo Base and Meridian, County of San Joaquin, State of California and more particularly described as follows:

Commencing at the Southeasterly corner of said Section 13; thence along the Southerly line of said Section 13, North 89° 58' 11" West, a distance of 1090.14 feet to the Southwesterly right-of-way line of said Stockton and Visalia Railroad Company parcel being also the Northeasterly right-of-way line of Corneta Road (a 40-foot wide road); thence along said Southwesterly railroad right-of-way line, North 43° 49' 19" West, a distance of 1181.81 feet to the Westerly prolongation of the Southerly line of Parcel "8" (eight) as described in that certain Grant Deed to August L. Martin and Elsie B. Martin, trustees and their successor trustees, of the Martin Living Trust, dated June 6, 1994, said Deed being recorded 23rd day of November, 1994, as Instrument No. 94126874, San Joaquin County Records; thence along the Westerly prolongation of the Southerly line of Parcel "8" and along the Southerly line of said Parcel "8", North 89° 59' 42" East, a distance of 577.29 feet the Southeasterly corner of said Parcel "8"; thence along the

Received

SEP 16 2014

Oakdale ID

Easterly line of said Parcel "8", North 01° 33' 47" West, a distance of 476.00 feet to the Southwesterly corner of Lot 26 as shown on said Moorland Farm Colony No. 1 map; thence along the Southerly line of said Lot 26, North 89° 59' 42" East, a distance of 265.58 feet; thence perpendicular to said Southerly line of Lot 26, North 00° 00' 18" West, a distance of 94.55 feet; thence parallel with said Southwesterly railroad right-of-way line, North 43° 49' 19" West, a distance of 2598.18 feet to the TRUE POINT OF BEGINNING; thence continuing parallel with said Southwesterly railroad right-of-way line, North 43° 49' 19" West, a distance of 704.47 feet; thence perpendicular to said Southwesterly railroad right-of-way line, North 46° 10' 41" East, a distance of 645.13 feet; thence South 39° 28' 19" East, a distance of 706.50 feet to a point which bears North 46° 10' 41" East, a distance of 591.54 feet from said TRUE POINT OF BEGINNING; thence South 46° 10' 41" West, a distance of 591.54 feet to the TRUE POINT OF BEGINNING.

The above legal description is also referred to as "Legal Description of Parcel "1" Per PA-10-23", as shown on Notice of Lot Line Adjustment Recorded September 30, 2010, Instrument No. 2010-128857, San Joaquin County Records.

Parcel Two:

A portion of Lot(s) 6, (six) and 7 (seven) as shown on that certain map entitled "Moorland Farm Colony of the Moorland Farm Company" filed for record the 9th day of December, 1912, in Volume 6 (six) of Maps and Plats, at Page 49 (forty-nine), San Joaquin County Records, all located in Section 13 (thirteen), Township 1 (one) South, Range 9 (nine) East, Mount Diablo Base and Meridian, County of San Joaquin, State of California and more particularly described as follows:

Commencing at the Southeasterly corner of said Section 13; thence along the Southerly line of said Section 13, North 89° 58' 11" West, a distance of 1090.14 feet to the Southwesterly right-of-way line of said Stockton and Visalia Railroad Company parcel being also the Northeasterly right-of-way line of Corneta Road (a 40-foot wide road); thence along said Southwesterly railroad right-of-way line, North 43° 49' 19" West, a distance of 1181.81 feet to the Westerly prolongation of the Southerly line of Parcel "8" (eight) as described in that certain Grant Deed to August L. Martin and Elsie B. Martin, trustees and their successor trustees, of the Martin Living Trust, dated June 6, 1994, said Deed being recorded 23rd day of November, 1994, as Instrument No. 94126874, San Joaquin County Records; thence along the Westerly prolongation of the Southerly line of Parcel "8" and along the Southerly line of said Parcel "8", North 89° 59' 42" East, a distance of 577.29 feet the Southeasterly corner of said Parcel "8"; thence along the Easterly line of said Parcel "8", North 01° 33' 47" West, a distance of 476.00 feet to the Southwesterly corner of Lot 26 as shown on said Moorland Farm Colony No. 1 map; thence along the Southerly line of said Lot 26, North 89° 59' 42" East, a distance of 265.58 feet; thence perpendicular to said Southerly line of Lot 26, North 00° 00' 18" West, a distance of 94.55 feet; thence parallel with said Southwesterly railroad right-of-way line, North 43° 49' 19" West, a distance of 3302.65 feet to the TRUE POINT OF BEGINNING; thence continuing parallel with said Southwesterly railroad right-of-way line, North 43° 49' 19" West, a distance of 976.66 feet to a point that is 799.80 feet Southerly from the Northerly line of said Section 13 (measured parallel with the Westerly line of Section 13); thence parallel with said Northerly line of Section 13, North 89° 54' 23" East, a distance of 928.05 feet; thence South 39° 28' 19" East, a distance of 336.13 feet to a point which bears North 46° 10' 41" East, a distance of 645.13 feet from said TRUE POINT OF BEGINNING; thence South 46° 10' 41" West, a distance of 645.13 feet to the TRUE POINT OF BEGINNING.

The above legal description is also referred to as "Legal Description of Parcel "2" Per PA-10-23", as shown on Notice of Lot Line Adjustment Recorded September 30, 2010, Instrument No. 2010-128857, San Joaquin County Records.

Parcel Three:

All of Lot(s) 4 (four), 11 (eleven), 12 (twelve), 13 (THIRTEEN), 24 (twenty-four), and 25 (twenty-five) and a portion of Lot(s) 5 (FIVE), 6, (six), 7 (seven), 9 (nine), 10 (ten), 26 (twenty-six), 27 (twenty-seven), 28 (twenty-eight) and 30 (thirty) as shown on that certain map entitled "Moorland Farm Colony of the Moorland Farm Company" filed for record the 9th day of December, 1912, in Volume 6 (six) of Maps and Plats, at Page 49 (forty-nine), San Joaquin County Records, all located in Section 13 (thirteen), Township 1 (one) South, Range 9 (nine) East, Mount Diablo Base and Meridian, County of San Joaquin, State of California and more particularly described as follows:

Commencing at the Southeasterly corner of said Section 13; thence along the Southerly line of said

EXHIBIT "A" (continued)

Received

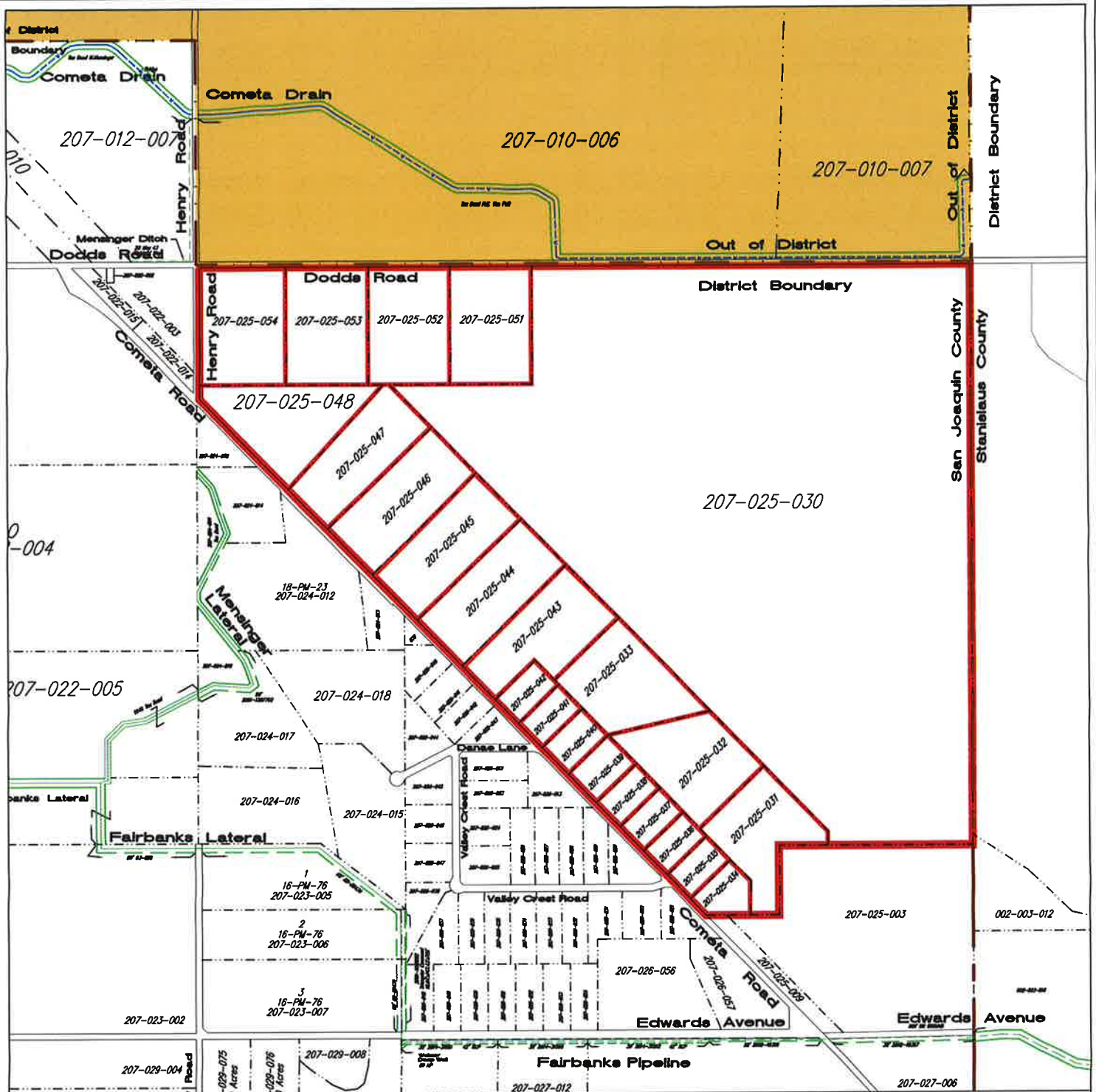
SEP 15 2014

Oakdale ID

Section 13, North 89° 58' 11" West, a distance of 1090.14 feet to the Southwesterly right-of-way line of said Stockton and Visalia Railroad Company parcel being also the Northeasterly right-of-way line of Corneta Road (a 40-foot wide road); thence along said Southwesterly railroad right-of-way line, North 43° 49' 19" West, a distance of 1181.81 feet to the Westerly prolongation of the Southerly line of Parcel "8" (eight) as described in that certain Grant Deed to August L. Martin and Elsie B. Martin, trustees and their successor trustees, of the Martin Living Trust, dated June 6, 1994, said Deed being recorded 23rd day of November, 1994, as Instrument No. 94126874, San Joaquin County Records; thence along the Westerly prolongation of the Southerly line of Parcel "8" and along the Southerly line of said Parcel "8", North 89° 59' 42" East, a distance of 577.29 feet to the Southeasterly corner of said Parcel "8"; thence along the Easterly line of said Parcel "8", North 01° 33' 47" West, a distance of 476.00 feet to the Southeasterly corner of said Lot 26; thence along the Southerly line of said Lot 26, North 89° 59' 42" East, a distance of 265.58 feet to the TRUE POINT OF BEGINNING; thence perpendicular to said Southerly line of Lot 26, North 00° 00' 18" West, a distance of 94.55 feet; thence parallel with said Southwesterly railroad right-of-way line, North 43° 49' 19" West, a distance of 2598.18 feet; thence perpendicular to said Southwesterly railroad right-of-way line, North 46° 10' 41" East, a distance of 591.54 feet; thence North 39° 28' 19" West, a distance of 1042.63 feet to a point that is 799.80 feet Southerly from the Northerly line of said Section 13 (measured parallel with the Westerly line of said Section 13); thence parallel with said Westerly line of Section 13, North 01° 52' 38" West, a distance of 799.80 feet to said Northerly line of Section 13; thence along said Northerly line of Section 13, North 89° 54' 23" East, a distance of 3004.44 feet to the Northeasterly corner of said Lot 4; thence along the Easterly lines of said Lots 4, 13 and 24 South 01° 27' 31" East, a distance of 3989.04 feet to the Southeasterly corner of said Lot 24; thence along the Southerly line of said Lots 24 and 26, South 89° 59' 42" West, a distance of 1044.73 feet to the TRUE POINT OF BEGINNING.

The above legal description is also referred to as "Legal Description of Parcel "3" Per PA-10-23", as shown on Notice of Lot Line Adjustment Recorded September 30, 2010, Instrument No. 2010-128857, San Joaquin County Records.

APN: 207-240-01; 207-240-11; 207-250-01; 207-250-02; 207-250-08; and 207-260-02



OAKDALE IRRIGATION DISTRICT
 1205 EAST F STREET
 OAKDALE CALIFORNIA 95361

PROJECT SITE MAP
 DEFERRED CONDITIONS OF APPROVAL AGREEMENT



APNS: 207-025-031/032/033/034/035/036/037/038/039/040/041/
 042/043/044/045/046/047/048/049/050/051/052/053/054

DATE: SEP. 27, 2016
 DRAWN BY: CMK
 CHECKED BY: ECT

EXHIBIT "B"

NOT TO SCALE
 SHEET 1 of 1

BOARD AGENDA REPORT

Date: February 7, 2017
Item Number: 12
APN: 063-025-008

SUBJECT: APPROVE ENCROACHMENT PERMIT AND AGRICULTURAL DISCHARGE PERMIT ON THE RIVERBANK LATERAL (APN: 063-025-008 – VIERRA BROS DAIRY, LP)

RECOMMENDED ACTION: Approve

BACKGROUND AND/OR HISTORY:

The parcel noted above is in the process of installing a deep well pump discharge pipeline and a request to encroach upon the Riverbank Lateral right-of-way was received. This project is proposed to connect the private deep well to the existing turnout pipeline in order to provide the ability to irrigate the area served by the turnout with the deep well. Included in this permit are additional existing encroachments within the OID right-of-way at the project site. Encroachments listed on this Encroachment Permit include:

1. One (1) private 10" 100 PSI PIP PVC deep well pump discharge pipeline.
2. One (1) existing private deep well.
3. One (1) existing overhead electrical service drop pole.
4. One (1) existing overhead electrical service panel.
5. One (1) existing 3/4" Sch. 40 PVC pipeline crossing with riser and spigot.
6. One (1) existing 2" Sch. 40 PVC pipeline crossing with 2" ball valve.

An Encroachment Permit and Agricultural Discharge Permit have been prepared for the encroachments noted above. OID staff has reviewed the project and recommends approval of the Encroachment and Agricultural Discharge Permits.

FISCAL IMPACT: A deposit has been collected to cover all District costs.

ATTACHMENTS:

- Encroachment Permit
 - Agricultural Discharge Permit
-

Board Motion:

Motion by: _____ **Second by:** _____

VOTE

Webb (Yes/No) Doornenbal (Yes/No) Osmundson (Yes/No) Altieri (Yes/No) Santos (Yes/No)

Action(s) to be taken:

RECORDING REQUESTED BY &
WHEN RECORDED RETURN TO:



OAKDALE IRRIGATION DISTRICT
1205 East F Street
Oakdale, CA 95361

APN: 063-025-008

**ENCROACHMENT PERMIT
ON THE RIVERBANK LATERAL**

THIS ENCROACHMENT PERMIT executed this SEVENTH day of FEBRUARY, 2017, by and between OAKDALE IRRIGATION DISTRICT, an irrigation district organized and existing under the laws of the State of California, hereinafter referred to as "DISTRICT," and VIERRA BROS DAIRY, L.P., hereinafter referred to as "OWNER" sets forth Permits as follows:

W I T N E S S E T H:

WHEREAS, the Board of Directors of the DISTRICT adopted the request for an Encroachment Permit on February 7, 2017, as shown in the Resolution attached hereto as **Exhibit "A."**

WHEREAS, DISTRICT occupies easements and fee-owned lands for its irrigation and drainage facilities, and

WHEREAS, OWNER'S property described in the attached **Exhibit "B"** (the "Subject Property") is subject to all or a portion of said easements, and

WHEREAS, OWNER has title to the Subject Property and wishes to encroach upon the RIVERBANK LATERAL right of way with encroachments as follows:

1. One (1) private 10" 100 PSI PIP PVC deep well pump discharge pipeline.
2. One (1) existing private deep well.
3. One (1) existing overhead electrical service drop pole.
4. One (1) existing overhead electrical service panel.
5. One (1) existing 3/4" Sch. 40 PVC pipeline crossing with riser and spigot.
6. One (1) existing 2" Sch. 40 PVC pipeline crossing with 2" ball valve.

WHEREAS, DISTRICT is willing to permit said encroachments provided the OWNER agrees to the following provisions:

1. Nature of Right Conferred. This Permit is valid only for the purposes specified herein, and neither the Permit, nor use there under shall create an easement, right-of-way, or other interest in real property owned by DISTRICT.

THIS PERMIT shall be a covenant binding upon both DISTRICT and OWNER.

IN WITNESS WHEREOF, DISTRICT and OWNER have caused their names to be affixed.

**OAKDALE IRRIGATION DISTRICT
"DISTRICT"**


Steve Webb, President
Board of Directors

Date

Steve Knell, P.E.
General Manager/Secretary

Date

"OWNER"




Manuel J. Vierra, Partner
Vierra Bros Dairy, L.P.



Date



David W. Vierra, Partner
Vierra Bros Dairy, L.P.



Date

Mailing Address: 6960 Crane Road
 Oakdale, CA, 95361

SIGNATURES MUST BE NOTARIZED AND BE PER RECORDED DEED

NOTARY

CERTIFICATE OF ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California
County of Stanislaus

On Jan 13, 2017 before me Carla Lillie, notary public,
personally appeared David W. Vierra
who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are
subscribed to the within instrument and acknowledged to me that he/she/they executed the same in
his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the
person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing
paragraph is true and correct.

WITNESS my hand and official seal

Carla Lillie

Signature

(Seal)



CERTIFICATE OF ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California
County of Stanislaus

On January 19, 2017 before me Denise Freiwald,
personally appeared Manuel J. Vierra
who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are
subscribed to the within instrument and acknowledged to me that he/she/they executed the same in
his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the
person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

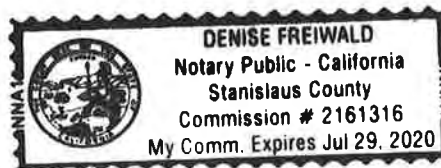
I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing
paragraph is true and correct.

WITNESS my hand and official seal

Denise Freiwald

Signature

(Seal)



NOTARY

CERTIFICATE OF ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California
County of Stanislaus

On _____ before me Carla Lillie, notary public,
personally appeared _____
who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are
subscribed to the within instrument and acknowledged to me that he/she/they executed the same in
his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the
person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing
paragraph is true and correct.

WITNESS my hand and official seal

Signature (Seal)

CERTIFICATE OF ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California
County of Stanislaus

On _____ before me Carla Lillie, notary public,
personally appeared _____
who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are
subscribed to the within instrument and acknowledged to me that he/she/they executed the same in
his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the
person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing
paragraph is true and correct.

WITNESS my hand and official seal

Signature (Seal)

EXHIBIT "A"

**OAKDALE IRRIGATION DISTRICT
RESOLUTION NO. 2017-NIL**

ENCROACHMENT PERMIT ON THE RIVERBANK LATERAL

APN: 063-025-008

WHEREAS, VIERRA BROS DAIRY, L.P. is the titled owner of property located in Section 22, Township 2 South, Range 10 East, Mount Diablo Base and Meridian, in the unincorporated area of Stanislaus County, California; and

WHEREAS, VIERRA BROS DAIRY, L.P. has requested an Encroachment Permit for:

1. One (1) private 10" 100 PSI PIP PVC deep well pump discharge pipeline.
2. One (1) existing private deep well.
3. One (1) existing overhead electrical service drop pole.
4. One (1) existing overhead electrical service panel.
5. One (1) existing 3/4" Sch. 40 PVC pipeline crossing with riser and spigot.
6. One (1) existing 2" Sch. 40 PVC pipeline crossing with 2" ball valve.

WHEREAS, the attached Encroachment Permit has been signed by the titled owners.

NOW THEREFORE BE IT RESOLVED, that the provisions contained in the Encroachment Permit of the above-identified land have been accepted by the titled owner of said property, is hereby accepted by the District, and that the President be and is hereby authorized and directed to have the same recorded on the records of Stanislaus County, and that said Encroachment Permit in its entirety is incorporated by reference and attached to this Resolution.

Upon Motion of Director _____ seconded by Director _____, and duly submitted to the Board for its consideration, the above-titled Resolution was adopted this seventh day of February, 2017.

OAKDALE IRRIGATION DISTRICT

Steve Webb, President
Board of Directors

Steve Knell, P.E.
General Manager/Secretary

EXHIBIT "B"

Real Property consisting of 267 +/- acres commonly known as Stanislaus County Assessors Parcel Numbers 063-25-08 and 063-27-02, more particularly described as follows:

PARCEL ONE:

All that portion of Section 22, Township 2 South, Range 10 East, M.D.B. & M. described as follows:

Beginning at the corner common to Sections 21, 22, 27 and 28 of said Township as said corner is shown on that certain Record of Survey Map filed for record January 14, 1936 in Volume 2 of Record of Surveys at Page 2, Stanislaus County Records, Stanislaus County, California; thence North 0° - 26' West, 1,017.03 feet; thence East 906.82 feet; thence North 48° - 57' - 53" East, 578.43 feet; thence North 558.24 feet; thence North 65° - 07' - 38" East, 269.26 feet; to the center line of a farm road; thence along the center line of said farm road North 0° - 05' - 32" West, 518.56 feet; thence departing from said road center line, South 89° - 48' East, 807.08 feet; thence South 88° - 14' East, 393.67 feet; thence North 1° - 17' West, 25.36 feet; thence North 53° - 02' East, 366.99 feet; thence North 82° - 18' East, 175.76 feet; thence North 86° - 28' East, 51.02 feet; thence North 88° - 14' East, 965.44 feet; thence South 0° - 15' East, 1,121.94 feet; thence North 89° - 17' West, 1,456.62 feet; thence South 00° - 12' East, 1,789.26 feet; thence North 89° - 37' West, 2,816.22 feet to the true point of beginning.

PARCEL TWO:

Lots 1, 2, 3, 4, 5, and 6 of the Crane Villa Tract according to the Official Map thereof, filed in the office of the Recorder of the County of Stanislaus, State of California on October 22, 1912 in Volume 7 of Maps, at page 10.

EXCEPTING therefrom a portion of Lot 1 of said Tract described as follows:

Beginning at a point on the center line of Lexington Avenue as said Lexington Avenue is shown on said Tract, said point being on the northerly projection of the west line of said Lot 1; Thence south on and along the west line of said Lot 1 and its northerly projection thereof 184.0 feet; Thence easterly parallel with the center line of said Lexington Avenue, 221.4 feet; Thence north parallel with the west line of said Lot one, 184 feet to the center line of said Lexington Avenue; Thence westerly along the center line of said Lexington Avenue 221.4 feet to the point of beginning.

PARCEL THREE:

A non-exclusive easement for water conveyance and canal or pipeline maintenance purposes forty (40) feet in width the center line of which is described as follows:

Beginning at the corner common to Sections 21, 22, 27 and 28 T.2S., R.10E., M.D.B.&M. said sections are shown on that certain Record of Survey Map filed for record, January 14, 1936 in Volume 2 of Record of Surveys at page 2, Stanislaus County Records, Stanislaus County, California; thence North 31° - 06' West, 3,213.04 feet to a point in the Oakdale Irrigation District Canal known as "Crane Lateral" the true point of beginning; thence North 57° - 55' East, 535.0 feet; thence South, 352.0 feet; thence South 57° - 47' West, 531.0 feet; thence South 45° - 45' West, 781.0 feet; thence South 19° - 26' West, 724.0 feet; thence South 49° - 27' West, 128.0 feet; thence South 12° - 58' West, 156.0 feet; thence South 6° - 55' West, 681.0 feet; thence South 3° - 27' West, 232.0 feet terminating at a point in the center line of Lexington Road as said Road is shown on that certain map entitled, "Crane Villa Tract", recorded October 22, 1912 in Volume 7 of maps at page 10, Stanislaus County Records.

PARCEL FOUR

VIERRA CANAL EASEMENT #2

A non-exclusive easement for water conveyance purposes forty (40) feet in width the center line of which is described as follows:

Beginning at the corner common to Sections 21, 22, 27 and 28, T.2S., R.10E., M.D.B.&M., as said sections are shown on that certain Record of Survey Map filed for Record, January 14, 1936 in Volume 2 of Record of Surveys at page 2, Stanislaus County Records, Stanislaus County, California; thence North 31° - 06' West, 3,214.04 feet to a point in the Oakdale Irrigation District Canal known as "Crane Lateral" the true point of beginning: Thence South 31° - 09' West, 97.36 feet; to a point on the east-west quarter section line; thence South 45° - 55' West, 49.0 feet; thence South 57° - 16' West, 852.0 feet; thence South 64° - 57' West, 180.0 feet; thence South 43° - 42' West, 604.0 feet; thence South 00° - 34' West, 708.0 feet; thence South 16° - 53' East, 279.0 feet; thence South 20° - 07' West, 140.0 feet; thence South 63° - 52' West, 177.0 feet; thence South 79° - 07' West, 260.0 feet; thence South 52° - 56' West, 113.0 feet; thence South 321.73 feet terminating at the center line of Lexington Road as said road is shown on that certain map entitled "Crane Villa Tract" recorded October 22, 1912 in Volume 7 of maps at page 10, Stanislaus County Records, Stanislaus County, California.

PARCEL FIVE

A non-exclusive easement for road purposes sixty (60) feet in width and lying within Section 22, T.2S., R.10E., M.D.B.&M. The center line of which is described as follows:

Beginning at the eastern terminus of Lexington Road as said road is shown on that certain map entitled "Crane Villa Tract" recorded October 22, 1912 in Volume 7 of maps at page 10, Stanislaus County Records, Stanislaus County, California said point also being North 0° - 26' West, 8.6 feet from the corner common to Sections 21, 22, 27 and 28 T.2S., R.10E., M.D.B.&M. the true point of beginning: thence South 89° - 37' East, 577.0 feet; thence North 47° - 32' East, 838.0 feet; thence North 20° - 56' East, 478.0 feet; thence North 41° - 20' East, 409.0 feet; thence North 8° - 34' West, 373.54 feet;

thence North 0° - 5' - 32" West, 2787.68 feet terminating at a point on the north right-of-way of an Oakdale Irrigation District Lateral known as "Crane Lateral".

ALSO, a right-of-way over that certain private road approximately forty (40) feet wide now located and established; The center line of said road running from the northerly terminus of the hereinabove described road easement, distant 40.55 chains west from the east boundary of that certain parcel conveyed by owners to J. L. Sayer and Myrtle Leitch Sawyer, husband and wife by deed document numbered 16415, recorded December 17, 1935 in Volume 577, at page 437, Stanislaus County Records, Stanislaus County, California; Thence running in a general northerly direction through Sections 15 & 22, T.2S., R.10E., M.D.B.&M. to the State highway, said road to be used in common by the various owners of land adjacent thereto.

SAVING AND EXCEPTING from said right-of-way for road purposes above described all that portion thereof included in the Grant right-of-way for Pipe Line executed by William A. Patterson, a widower, to Pacific Gas and Electric Company, a corporation, dated July 8, 1930 and recorded July 16, 1930 in Volume 402 of Official Records, at page 217, being a strip of land adjacent to, and running along the south line of the Railroad right-of-way.

Said right-of-way for private road is also subject to the right-of-way of the California, Arizona and Santa Fe Railway Company and its successors, as acquired by Deed recorded August 30, 1917 in Volume 250 of Deeds, at page 613.

PARCEL SIX

An undivided interest in that certain well and appurtenances together with ingress and egress to said well as said well is located on a parcel of land in Section 22, T.2S., R.10E., M.D.B.&M. as said section is shown on that certain Record of Survey Map filed for record, January 14, 1936 in Volume 2 of Record of Surveys at page 2, Stanislaus County, California, said parcel being described as follows: Beginning at the corner common to Sections 21, 22, 27 and 28 T.2S., R.10E., M.D.B.&M. as said corner is shown on that certain Record of Survey herein before referred to; thence South 89° - 37' East, 2,816.22 feet; thence North 0° - 12' West, 1,334.61 feet; to the true point of beginning: thence West 50.0 feet; thence North 0° - 12' West 50.0 feet; thence East 50.0 feet; thence South 0° - 12' East 50.0 feet; to the true point of beginning.

PARCEL SEVEN

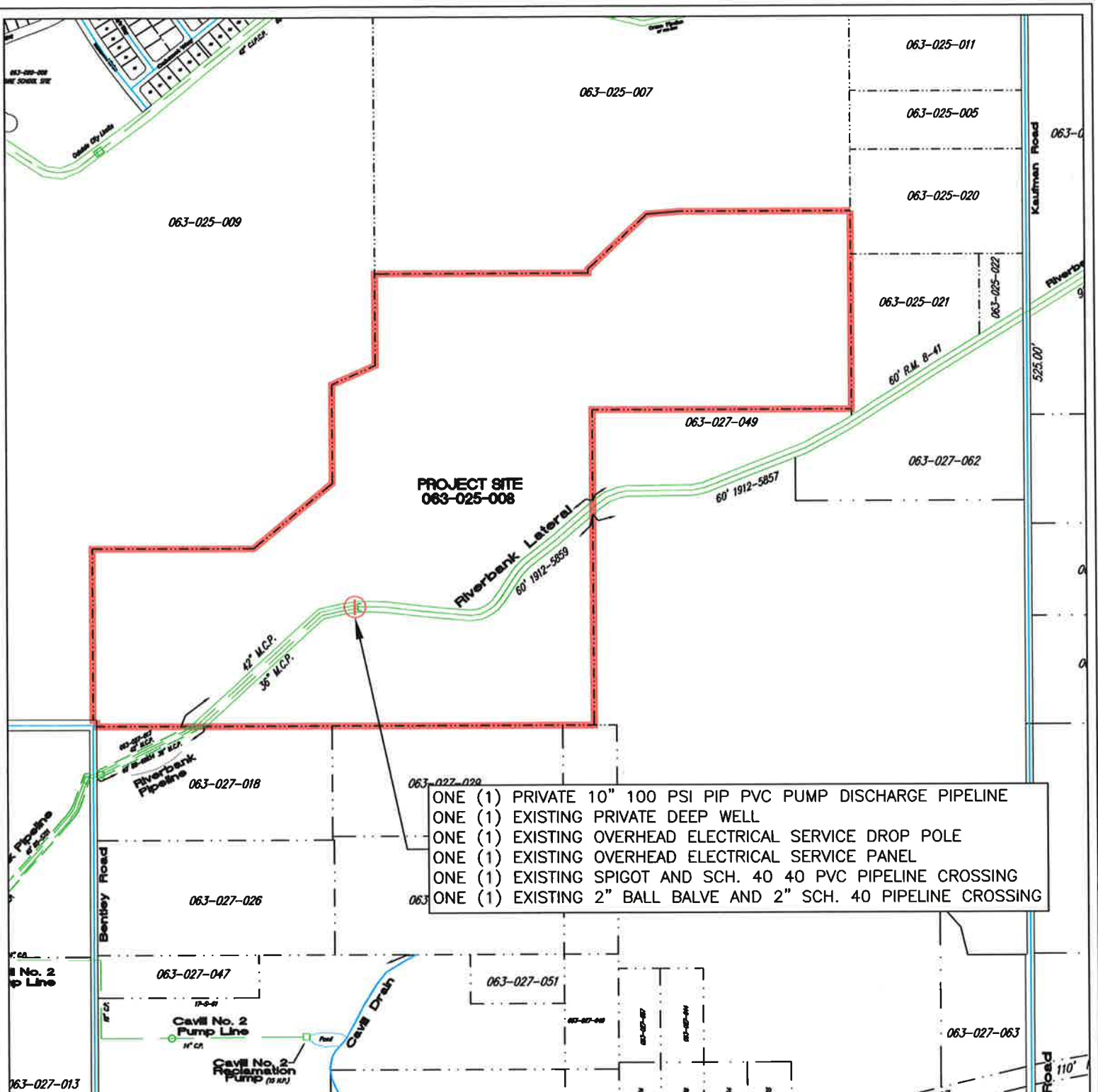
An undivided interest in that certain well and appurtenances together with ingress and egress to said well as said well is located on a parcel of land in Section 22, T.2S., R.10E., M.D.B.&M. as said Section is shown on that certain Record of Survey Map filed for record, January 14, 1936 in Volume 2 of Record of Surveys, page 2, Stanislaus County, California, said parcel being described as follows: Beginning at the corner common to Sections 21, 22, 27 and 28 T.2S., R.10E., M.D.B.&M as said corner is shown on that certain Record of Survey hereinbefore referred to; thence South 89° - 37' East 2,816.22 feet; thence North 0° - 12' West 1,789.26 feet; thence South 89° - 17' West 1,456.62 feet; thence North 0° - 13' West, parallel with the east line of said Section 22, 858.00 feet to a point on the east-west quarter section line of said Section

22; thence continuing on last said course North 0° - 13' West, 1,837.0 feet; to the true point of beginning: Thence West 50.0 feet; thence North 0° - 13' West, 50.0 feet; thence East 50.0 feet; thence South 0° - 13' East, 50.0 feet; to the true point of beginning.

Containing 267 acres, more or less.

Subject to existing rights-of-way.

TOGETHER WITH a water right under Oakdale Irrigation District for the irrigation of 273.2 acres, of the above-described land.



OAKDALE IRRIGATION DISTRICT
1205 EAST F STREET
OAKDALE CALIFORNIA 95361

PROJECT SITE MAP
ENCROACHMENT PERMIT
APN: 063-025-008
RIVERBANK LATERAL



DATE: JAN. 9, 2017
DRAWN BY: CMK
CHECKED BY: ECT

EXHIBIT "C"

NOT TO SCALE
SHEET 1 of 1

RECORDING REQUESTED BY &
WHEN RECORDED RETURN TO:



OAKDALE IRRIGATION DISTRICT
1205 East F Street
Oakdale, CA 95361

APN: 063-025-008

**AGRICULTURAL DISCHARGE PERMIT
ON THE RIVERBANK LATERAL**

THIS AGRICULTURAL DISCHARGE PERMIT executed this SEVENTH day of FEBRUARY, 2017, by and between OAKDALE IRRIGATION DISTRICT, an irrigation district organized and existing under the laws of the State of California, hereinafter referred to as "DISTRICT," and VIERRA BROS DAIRY, L.P., hereinafter referred to as "OWNER" sets forth Permits as follows:

WITNESSETH:

WHEREAS, the Board of Directors of the DISTRICT adopted the request for an Agricultural Discharge Permit on February 7, 2017, as shown in the Resolution attached hereto as **Exhibit "A."**

WHEREAS, DISTRICT occupies easements, rights of way and fee-owned lands for its irrigation and drainage facilities, hereinafter referred to as "CONDUITS".

WHEREAS, OWNER'S property described in the attached **Exhibit "B"** (the "Subject Property") is subject to all or a portion of said easements, rights of way and fee-owned lands, and

WHEREAS, OWNER has title to the Subject Property and requests that DISTRICT grant permission to release said Agricultural Discharge as needed, subject to the terms and conditions of this AGRICULTURAL DISCHARGE PERMIT from one (1) private 10" 100 PSI PIP PVC deep well pump discharge pipeline.

WHEREAS, OWNER has been granted an Encroachment Permit for their private Agricultural Discharge Facilities crossing DISTRICT'S easements, rights of way and fee-owned lands and said Encroachment Permit has been recorded.

WHEREAS, DISTRICT is willing to permit said Agricultural Discharge provided the OWNER agree to the following provisions:

I. Definitions

- A. "CONDUITS" shall mean the water collection system consisting of canals, laterals, ditches, flumes, pipelines and appurtenant facilities for the transportation, control and collection of irrigation water that DISTRICT owns, maintains and operates.

No delay or omission on the part of the parties in exercising any rights shall operate as a waiver of such right or any other right. A waiver by a party of a provision of the Permit shall not prejudice or constitute a waiver of the party's right otherwise to demand strict compliance with that provision or any other provision of this Permit. No prior waiver by party, nor any course of dealing between the parties, shall constitute a waiver of any of a party's rights or of any of a party's obligations as to any future transactions. Whenever the consent of a party is required under this Permit, the granting of such consent by that party in any instance shall not constitute continuing consent.

THIS PERMIT shall be a covenant binding upon both DISTRICT and OWNER.

IN WITNESS WHEREOF, DISTRICT and OWNER have caused their names to be affixed.

**OAKDALE IRRIGATION DISTRICT
"DISTRICT"**

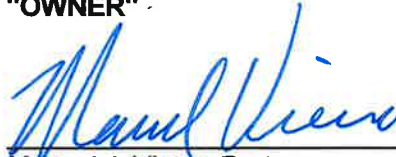
Steve Webb, President
Board of Directors

Date

Steve Knell, P.E.
General Manager/Secretary

Date

"OWNER"



Manuel J. Vierra, Partner
Vierra Bros Dairy, L.P.



Date



David W. Vierra, Partner
Vierra Bros Dairy, L.P.



Date

Mailing Address: 6960 Crane Road
Oakdale, CA 95361

SIGNATURES MUST BE NOTARIZED AND BE PER RECORDED DEED

NOTARY

CERTIFICATE OF ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California
County of **Stanislaus**

On Jan 13, 2017 before me Carla Lillie, notary public,
personally appeared David W. Viera
who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are
subscribed to the within instrument and acknowledged to me that he/she/they executed the same in
his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the
person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing
paragraph is true and correct.

WITNESS my hand and official seal

Carla Lillie
Signature

(Seal)



CERTIFICATE OF ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California
County of **Stanislaus**

On January 19, 2017 before me Denise Freiwald,
personally appeared Mmanuel J. Viera
who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are
subscribed to the within instrument and acknowledged to me that he/she/they executed the same in
his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the
person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing
paragraph is true and correct.

WITNESS my hand and official seal

Denise Freiwald
Signature

(Seal)

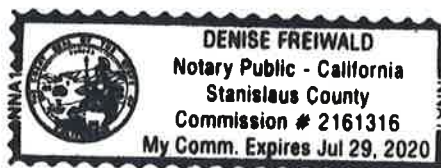


EXHIBIT "A"

**OAKDALE IRRIGATION DISTRICT
RESOLUTION NO. 2017-NIL**

**AGRICULTURAL DISCHARGE PERMIT
ON THE RIVERBANK LATERAL TO
VIERRA BROS DAIRY, L.P.**

APN: 063-025-008

WHEREAS, VIERRA BROS DAIRY, L.P. is the titled owner of the property located in Section 22, Township 2 South, Range 10 East, Mount Diablo Base and Meridian, in the unincorporated area of Stanislaus County, California; and has requested an Agricultural Discharge Permit for ONE (1) PRIVATE 10" 100 PSI PIP PVC DEEP WELL PUMP DISCHARGE PIPELINE on the RIVERBANK LATERAL, constructed in accordance with District Standard Details.

WHEREAS, the Agricultural Discharge Permit has been signed by the titled OWNER.

NOW THEREFORE BE IT RESOLVED, that the provisions contained in the Agricultural Discharge Permit of the above-identified lands have been accepted by the titled OWNER of said property, is hereby accepted by the District, and that the President be and is hereby authorized and directed to have the same recorded on the records of Stanislaus County, and that said Agricultural Discharge Permit in its entirety is incorporated by reference to this Resolution.

Upon Motion of Director _____, seconded by Director _____, and duly submitted to the Board for its consideration, the above-titled Resolution was adopted this seventh day of February, 2017.

OAKDALE IRRIGATION DISTRICT

Steve Webb, President
Board of Directors

Steve Knell, P.E.
General Manager/Secretary

EXHIBIT "B"

Real Property consisting of 267 +/- acres commonly known as Stanislaus County Assessors Parcel Numbers 063-25-08 and 063-27-02, more particularly described as follows:

PARCEL ONE:

All that portion of Section 22, Township 2 South, Range 10 East, M.D.B. & M. described as follows:

Beginning at the corner common to Sections 21, 22, 27 and 28 of said Township as said corner is shown on that certain Record of Survey Map filed for record January 14, 1936 in Volume 2 of Record of Surveys at Page 2, Stanislaus County Records, Stanislaus County, California; thence North 0° - 26' West, 1,017.03 feet; thence East 906.82 feet; thence North 48° - 57' - 53" East, 578.43 feet; thence North 558.24 feet; thence North 65° - 07' - 38" East, 269.26 feet; to the center line of a farm road; thence along the center line of said farm road North 0° - 05' - 32" West, 518.56 feet; thence departing from said road center line, South 89° - 48' East, 807.08 feet; thence South 88° - 14' East, 393.67 feet; thence North 1° - 17' West, 25.36 feet; thence North 53° - 02' East, 366.99 feet; thence North 82° - 18' East, 175.76 feet; thence North 86° - 28' East, 51.02 feet; thence North 88° - 14' East, 965.44 feet; thence South 0° - 15' East, 1,121.94 feet; thence North 89° - 17' West, 1,456.62 feet; thence South 00° - 12' East, 1,789.26 feet; thence North 89° - 37' West, 2,816.22 feet to the true point of beginning.

PARCEL TWO:

Lots 1, 2, 3, 4, 5, and 6 of the Crane Villa Tract according to the Official Map thereof, filed in the office of the Recorder of the County of Stanislaus, State of California on October 22, 1912 in Volume 7 of Maps, at page 10.

EXCEPTING therefrom a portion of Lot 1 of said Tract described as follows:

Beginning at a point on the center line of Lexington Avenue as said Lexington Avenue is shown on said Tract, said point being on the northerly projection of the west line of said Lot 1; Thence south on and along the west line of said Lot 1 and its northerly projection thereof 184.0 feet; Thence easterly parallel with the center line of said Lexington Avenue, 221.4 feet; Thence north parallel with the west line of said Lot one, 184 feet to the center line of said Lexington Avenue; Thence westerly along the center line of said Lexington Avenue 221.4 feet to the point of beginning.

PARCEL THREE:

A non-exclusive easement for water conveyance and canal or pipeline maintenance purposes forty (40) feet in width the center line of which is described as follows:

Beginning at the corner common to Sections 21, 22, 27 and 28 T.2S., R.10E., M.D.B.&M. said sections are shown on that certain Record of Survey Map filed for record, January 14, 1936 in Volume 2 of Record of Surveys at page 2, Stanislaus County Records, Stanislaus County, California; thence North 31° - 06' West, 3,213.04 feet to a point in the Oakdale Irrigation District Canal known as "Crane Lateral" the true point of beginning: thence North 57° - 55' East, 535.0 feet; thence South, 352.0 feet; thence South 57° - 47' West, 531.0 feet; thence South 45° - 45' West, 781.0 feet; thence South 19° - 26' West, 724.0 feet; thence South 49° - 27' West, 128.0 feet; thence South 12° - 58' West, 156.0 feet; thence South 6° - 55' West, 681.0 feet; thence South 3° - 27' West, 232.0 feet terminating at a point in the center line of Lexington Road as said Road is shown on that certain map entitled, "Crane Villa Tract", recorded October 22, 1912 in Volume 7 of maps at page 10, Stanislaus County Records.

PARCEL FOUR

VIERRA CANAL EASEMENT #2

A non-exclusive easement for water conveyance purposes forty (40) feet in width the center line of which is described as follows:

Beginning at the corner common to Sections 21, 22, 27 and 28, T.2S., R.10E., M.D.B.&M., as said sections are shown on that certain Record of Survey Map filed for Record, January 14, 1936 in Volume 2 of Record of Surveys at page 2, Stanislaus County Records, Stanislaus County, California; thence North 31° - 06' West, 3,214.04 feet to a point in the Oakdale Irrigation District Canal known as "Crane Lateral" the true point of beginning: Thence South 31° - 09' West, 97.36 feet; to a point on the east-west quarter section line; thence South 45° - 55' West, 49.0 feet; thence South 57° - 16' West, 852.0 feet; thence South 64° - 57' West, 180.0 feet; thence South 43° - 42' West, 604.0 feet; thence South 00° - 34' West, 708.0 feet; thence South 16° - 53' East, 279.0 feet; thence South 20° - 07' West, 140.0 feet; thence South 63° - 52' West, 177.0 feet; thence South 79° - 07' West, 260.0 feet; thence South 52° - 56' West, 113.0 feet; thence South 321.73 feet terminating at the center line of Lexington Road as said road is shown on that certain map entitled "Crane Villa Tract" recorded October 22, 1912 in Volume 7 of maps at page 10, Stanislaus County Records, Stanislaus County, California.

PARCEL FIVE

A non-exclusive easement for road purposes sixty (60) feet in width and lying within Section 22, T.2S., R.10E., M.D.B.&M. The center line of which is described as follows:

Beginning at the eastern terminus of Lexington Road as said road is shown on that certain map entitled "Crane Villa Tract" recorded October 22, 1912 in Volume 7 of maps at page 10, Stanislaus County Records, Stanislaus County, California said point also being North 0° - 26' West, 8.6 feet from the corner common to Sections 21, 22, 27 and 28 T.2S., R.10E., M.D.B.&M. the true point of beginning: thence South 89° - 37' East, 577.0 feet; thence North 47° - 32' East, 838.0 feet; thence North 20° - 56' East, 478.0 feet; thence North 41° - 20' East, 409.0 feet; thence North 8° - 34' West, 373.54 feet;

thence North 0° - 5' - 32" West, 2787.68 feet terminating at a point on the north right-of-way of an Oakdale Irrigation District Lateral known as "Crane Lateral".

ALSO, a right-of-way over that certain private road approximately forty (40) feet wide now located and established; The center line of said road running from the northerly terminus of the hereinabove described road easement, distant 40.55 chains west from the east boundary of that certain parcel conveyed by owners to J. L. Sayer and Myrtle Leitch Sawyer, husband and wife by deed document numbered 16415, recorded December 17, 1935 in Volume 577, at page 437, Stanislaus County Records, Stanislaus County, California; Thence running in a general northerly direction through Sections 15 & 22, T.2S., R.10E., M.D.B.&M. to the State highway, said road to be used in common by the various owners of land adjacent thereto.

SAVING AND EXCEPTING from said right-of-way for road purposes above described all that portion thereof included in the Grant right-of-way for Pipe Line executed by William A. Patterson, a widower, to Pacific Gas and Electric Company, a corporation, dated July 8, 1930 and recorded July 16, 1930 in Volume 402 of Official Records, at page 217, being a strip of land adjacent to, and running along the south line of the Railroad right-of-way.

Said right-of-way for private road is also subject to the right-of-way of the California, Arizona and Santa Fe Railway Company and its successors, as acquired by Deed recorded August 30, 1917 in Volume 250 of Deeds, at page 613.

PARCEL SIX

An undivided interest in that certain well and appurtenances together with ingress and egress to said well as said well is located on a parcel of land in Section 22, T.2S., R.10E., M.D.B.&M. as said section is shown on that certain Record of Survey Map filed for record, January 14, 1936 in Volume 2 of Record of Surveys at page 2, Stanislaus County, California, said parcel being described as follows: Beginning at the corner common to Sections 21, 22, 27 and 28 T.2S., R.10E., M.D.B.&M. as said corner is shown on that certain Record of Survey herein before referred to; thence South 89° - 37' East, 2,816.22 feet; thence North 0° - 12' West, 1,334.61 feet; to the true point of beginning; thence West 50.0 feet; thence North 0° - 12' West 50.0 feet; thence East 50.0 feet; thence South 0° - 12' East 50.0 feet; to the true point of beginning.

PARCEL SEVEN

An undivided interest in that certain well and appurtenances together with ingress and egress to said well as said well is located on a parcel of land in Section 22, T.2S., R.10E., M.D.B.&M. as said Section is shown on that certain Record of Survey Map filed for record, January 14, 1936 in Volume 2 of Record of Surveys, page 2, Stanislaus County, California, said parcel being described as follows: Beginning at the corner common to Sections 21, 22, 27 and 28 T.2S., R.10E., M.D.B.&M. as said corner is shown on that certain Record of Survey hereinbefore referred to; thence South 89° - 37' East 2,816.22 feet; thence North 0° - 12' West 1,789.26 feet; thence South 89° - 17' West 1,456.62 feet; thence North 0° - 13' West, parallel with the east line of said Section 22, 858.00 feet to a point on the east-west quarter section line of said Section

22; thence continuing on last said course North 0° - 13' West, 1,837.0 feet; to the true point of beginning: Thence West 50.0 feet; thence North 0° - 13' West, 50.0 feet; thence East 50.0 feet; thence South 0° - 13' East, 50.0 feet; to the true point of beginning.

Containing 267 acres, more or less.

Subject to existing rights-of-way.

TOGETHER WITH a water right under Oakdale Irrigation District for the irrigation of 273.2 acres, of the above-described land.

BOARD AGENDA REPORT

Date: February 7, 2017
Item Number: 13
APN: 002-034-083

SUBJECT: APPROVE ABANDONMENT AND QUITCLAIM OF A PORTION OF THE FRYMIRE LATERAL (APN: 002-034-083 - LAGARBO)

RECOMMENDED ACTION: Approve

BACKGROUND AND/OR HISTORY:

A request for abandonment of the Frymire Lateral through APN: 002-034-083 has been submitted by the landowners. With the completion of the Knights Ferry Water Rights Delivery System, OID no longer needs to supply the Morrison Lateral from the Frymire. OID Staff has determined that the requested abandonment of that portion Frymire Lateral across APN: 002-034-083 will not be detrimental to the operations of OID and recommends that the Board of Directors formally abandon and quitclaim said facility.

FISCAL IMPACT: Staff time for document preparation.

ATTACHMENTS:

- January 27, 2017 Request for Abandonment from Allen and Sandy Lagarbo
 - Abandonment Resolution
 - Quitclaim Deed
 - Quitclaim Resolution
-

Board Motion:

Motion by: _____ **Second by:** _____

VOTE

Webb (Yes/No) Doornenbal (Yes/No) Osmundson (Yes/No) Altieri (Yes/No) Santos (Yes/No)

Action(s) to be taken:



OAKDALE IRRIGATION DISTRICT

REQUEST FOR INFORMATION

Received
JAN 27 2017
Oakdale ID

NAME: Allen Lagarbo DATE: 1-27-17

Business Name, if applicable: _____

Mailing Address: 4160 McGee Ave.
Modesto, Ca. 95357

Home Telephone Number: 209-480-2089 Fax Number: _____

Daytime Telephone Number (if different from above) _____

Briefly explain your question(s) as they pertain to Oakdale Irrigation District Policy, Infrastructure, Rights-of Way, Easements, etc., in the space provided below:

We request an abandonment of the Frymire lateral
that is on our property APN - 002-034-085
on Morrison Rd. and a quitclaim deed.

Owners Allen R. Lagarbo Sandy L. Lagarbo
Allen R. Lagarbo Sandy L. Lagarbo

Ask for Allen or Sandy Thank you

[NOTE: Oakdale Irrigation District will endeavor to meet your needs as soon as possible. However, OID policy states that all written inquiries will be responded to within thirty (30) working days from the date of the request. Duplication costs are \$.23 per page.]

FOR OFFICIAL USE ONLY

Issued To (name/department): _____

Issued By (name/department): _____

Date Issued: _____ Date Information Provided: _____

**OAKDALE IRRIGATION DISTRICT
RESOLUTION NO. 2017-NIL**

ABANDONMENT OF A PORTION OF A DISTRICT FACILITY

FRYMIRE LATERAL

APN: 002-034-083

WHEREAS, a portion of the Oakdale Irrigation District facility known as the Frymire Lateral, located within the West half of Section 29, Township 1 South, Range 12 East, Mount Diablo Base and Meridian in the unincorporated area of Stanislaus County, crosses the above-noted parcel; and

WHEREAS, upon completion of the Knights Ferry Water Rights Delivery System, that portion of the Frymire Lateral has been reviewed by the Water Operations Department and determined to be operationally unnecessary; and

WHEREAS, Oakdale Irrigation District has no plan to expand or modify the current use of the Frymire Lateral, has no need to maintain said facility through the above-noted parcel, and the abandonment of that portion of said facility will not be detrimental to the irrigation operations of the Oakdale Irrigation District.

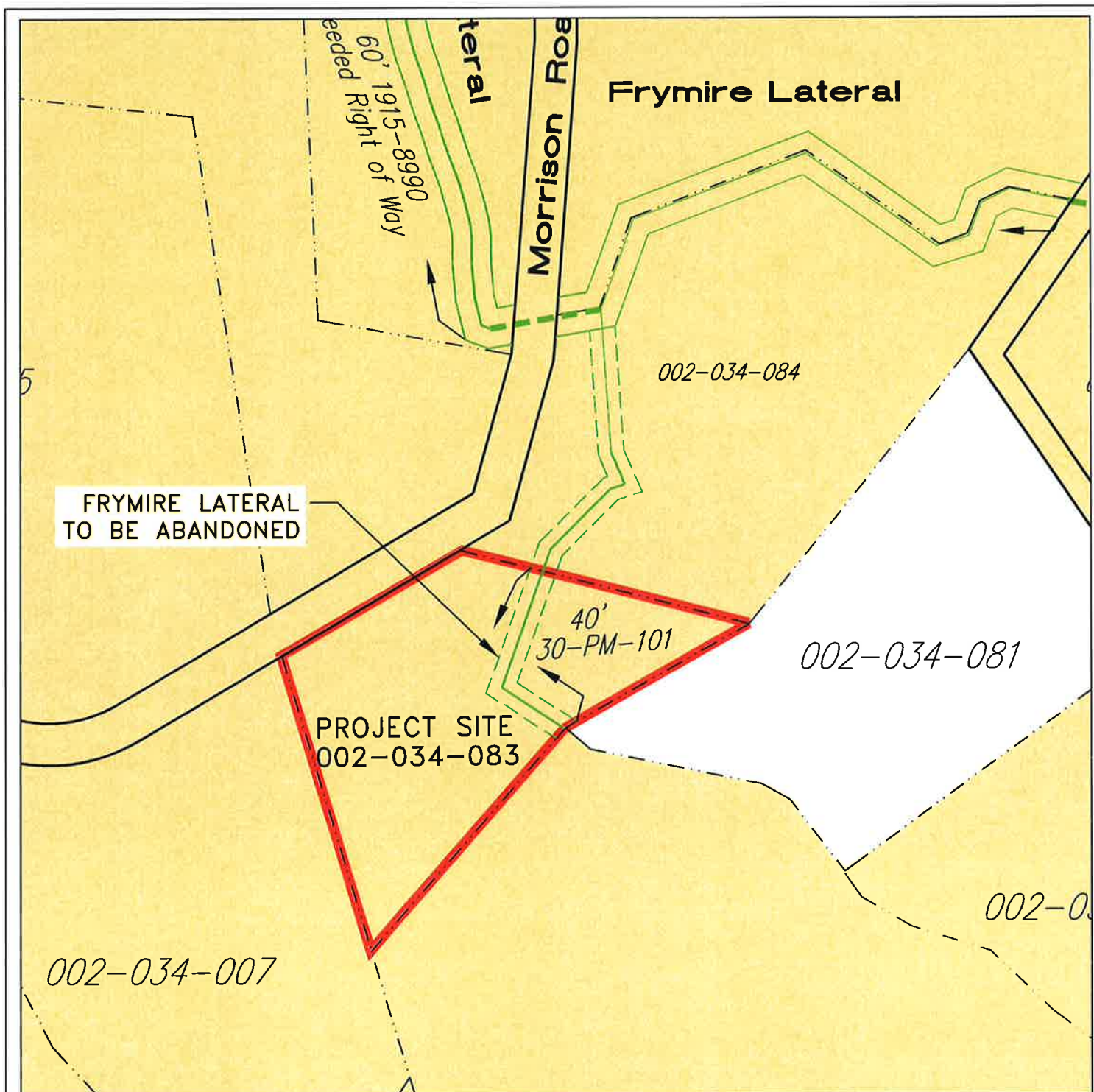
NOW, THEREFORE BE IT RESOLVED, that we find the abandonment of a portion of the Frymire Lateral as herein described and as shown on the Project Site Map attached hereto as Exhibit "A" is appropriate and be adopted.

Upon motion of Director _____, seconded by Director _____, and duly submitted to the Board for its consideration, the above-titled resolution was adopted this seventh day of February, 2017.

OAKDALE IRRIGATION DISTRICT

Steve Webb, President
Board of Directors

Steve Knell, P.E.,
General Manager/Secretary



OID
OAKDALE IRRIGATION DISTRICT



OAKDALE IRRIGATION DISTRICT
1205 EAST F STREET
OAKDALE CALIFORNIA 95361

PROJECT SITE MAP
PROPOSED ABANDONMENT
OF A DISTRICT FACILITY
FRYMIRE LATERAL



DATE: Jan. 31, 2017
DRAWN BY: ECS
CHECKED BY: ECT

EXHIBIT "A"

NOT TO SCALE
SHEET 1 of 1



RECORDING REQUESTED BY AND
WHEN RECORDED MAIL TO:

OAKDALE IRRIGATION DISTRICT

1205 East F Street
Oakdale, CA 95361

Mail Tax Statements to:

Allen Lagarbo
4160 McGee Ave.
Modesto, CA 95357

APN: 002-034-083

The undersigned declares Documentary Transfer Tax is \$0.00

QUITCLAIM DEED – FRYMIRE LATERAL

FOR A CONSIDERATION, receipt of which is hereby acknowledged,

OAKDALE IRRIGATION DISTRICT, an irrigation district organized and existing under the laws of the State of California, does hereby remise, release and forever quitclaim to the property owner(s) of record, Allen R. Lagarbo and Sandy L. Lagarbo, any interest in that portion of the Frymire Lateral across the above-noted parcel, and any interest in the Frymire Lateral easement accepted by Oakdale Irrigation District Board Resolution No. 1979-394 and dedicated to the Oakdale Irrigation District by that certain Parcel Map recorded July 1, 1980 in Volume 30 of Parcel Maps, at Page 101, in the Office of the Stanislaus County Recorder. Said easement is indicated on the attached Project Site Map Exhibit "B".

Approved by Board Action on February 7, 2017, as shown in the Resolution attached hereto as Exhibit "A".

OAKDALE IRRIGATION DISTRICT

Steve Webb, President

Date

Steve Knell, P.E., Secretary

Date

CERTIFICATE OF ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California
County of Stanislaus

On _____ before me _____,
personally appeared _____
who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s)
is/are subscribed to the within instrument and acknowledged to me that he/she/they executed
the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the
instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the
instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the
foregoing paragraph is true and correct.

WITNESS my hand and official seal

Signature (Seal)

CERTIFICATE OF ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California
County of Stanislaus

On _____ before me _____,
personally appeared _____
who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s)
is/are subscribed to the within instrument and acknowledged to me that he/she/they executed
the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the
instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the
instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the
foregoing paragraph is true and correct.

WITNESS my hand and official seal

Signature (Seal)

**OAKDALE IRRIGATION DISTRICT
RESOLUTION NO. 2017-NIL**

**AUTHORIZING QUITCLAIM DEED TO
ALLEN R. LAGARBO AND SANDY L. LAGARBO**

APN: 002-034-083

WHEREAS, a portion of the Oakdale Irrigation District facility known as the Frymire Lateral, located within the West half of Section 29, Township 1 South, Range 12 East, Mount Diablo Base and Meridian in the unincorporated area of Stanislaus County, crosses the above-noted parcel; and

WHEREAS, upon completion of the Knights Ferry Water Rights Delivery System, that portion of the Frymire Lateral has been reviewed by the Water Operations Department and determined to be operationally unnecessary; and

WHEREAS, Oakdale Irrigation District has no plan to expand or modify the current use of the Frymire Lateral, has no need to maintain said facility through the above-noted parcel, and the abandonment of that portion of said facility will not be detrimental to the irrigation operations of the Oakdale Irrigation District.

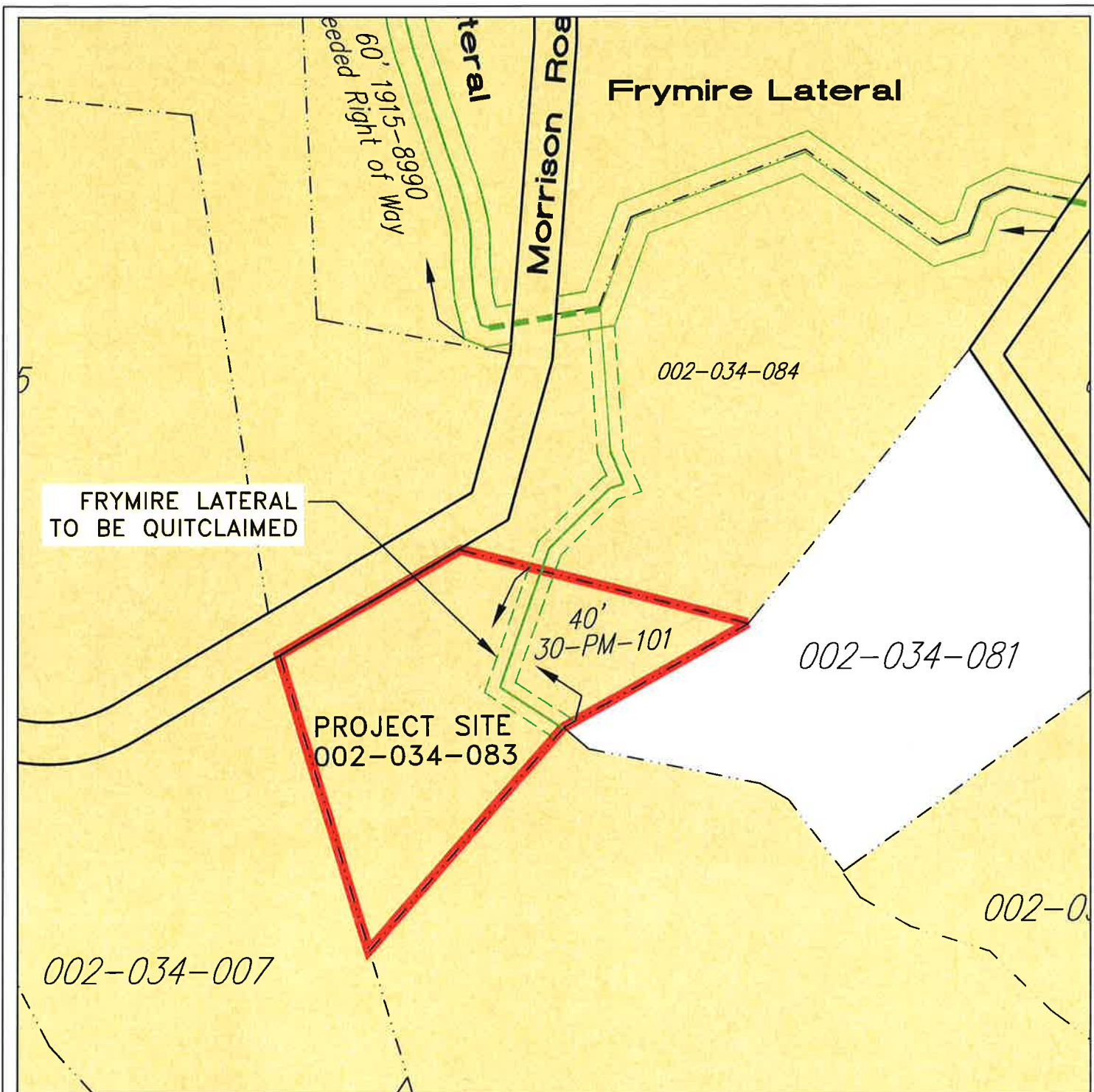
NOW THEREFORE BE IT RESOLVED, that any interest in that portion of the Frymire Lateral across the above-noted parcel be quitclaimed to the titled owner of said property, that any interest in the Frymire Lateral easement accepted by Oakdale Irrigation District Board Resolution No. 1979-394 and dedicated to the Oakdale Irrigation District by that certain Parcel Map recorded July 1, 1980 in Volume 30 of Parcel Maps, at Page 101 in the Office of the Stanislaus County Recorder be quitclaimed to the titled owner of said property, and that said Quitclaim in its entirety is incorporated herein by reference to this Resolution.

Upon Motion of Director _____, seconded by Director _____, and duly submitted to the Board for its consideration, the above-titled Resolution was adopted this seventh day of February, 2017.

OAKDALE IRRIGATION DISTRICT

Steve Webb, President
Board of Directors

Steve Knell, P.E.,
General Manager/Secretary



OID
OAKDALE IRRIGATION DISTRICT



OAKDALE IRRIGATION DISTRICT
1205 EAST F STREET
OAKDALE CALIFORNIA 95361

PROJECT SITE MAP
PROPOSED QUITCLAIM
OF A DISTRICT FACILITY
FRYMIRE LATERAL



DATE: Jan. 31, 2017
DRAWN BY: ECS
CHECKED BY: ECT

EXHIBIT "B"

NOT TO SCALE
SHEET 1 of 1

BOARD AGENDA REPORT

Date: February 7, 2017
Item Number: 14
APN: 014-030-001

SUBJECT: APPROVE GRANT OF EASEMENT ON THE ALBERS DRAIN AND EDWARDS DRAIN, ENCROACHMENT PERMIT ON THE ALBERS DRAIN AND EDWARDS DRAIN, AND AGRICULTURAL DISCHARGE PERMIT ON THE ALBERS DRAIN (APN: 014-030-001 – THE JOHN AND JACQUELINE BRICHETTO 2008 REVOCABLE TRUST DATED MAY 7, 2008, JOSEPH P. BRICHETTO, JOHN M. AND LEE ANA L. BRICHETTO)

RECOMMENDED ACTION: Approve

BACKGROUND AND/OR HISTORY:

A land use conversion project was recently completed on the parcel noted above. As part of the project the landowner granted the District an easement for the Albers Drain and Edwards Drain and is attached to this Agenda Report. A microirrigation system has been installed and a request to encroach upon the Albers Drain and Edwards Drain was received for the following encroachments:

1. One (1) 15" 100 PSI PIP PVC private irrigation pipeline crossing the Albers Drain.
2. One (1) 2" Sch. 40 PVC private irrigation pipeline crossing the Albers Drain.
3. One (1) 4" Sch. 40 PVC private agricultural filter station backflush discharge pipeline on the Albers Drain.
4. One (1) 4" Sch. 40 PVC private irrigation pipeline crossing the Edwards Drain.
5. One (1) 2" Sch. 40 PVC private irrigation pipeline crossing the Edwards Drain.

An Encroachment Permit has been prepared for the encroachments noted above and one (1) Agricultural Discharge Permit has been prepared for the agricultural filter station backflush discharge pipeline on the Albers Drain. OID staff has reviewed the project and recommends approval of the Grant of Easement, Encroachment Permit, and Agricultural Discharge Permit.

FISCAL IMPACT: A Structure Review Application fee has been submitted to cover all District costs.

ATTACHMENTS:

- Grant of Easement
 - Encroachment Permit
 - Agricultural Discharge Permit
-

Board Motion:

Motion by: _____ **Second by:** _____

VOTE

Webb (Yes/No) Doornenbal (Yes/No) Osmundson (Yes/No) Altieri (Yes/No) Santos (Yes/No)

Action(s) to be taken:

RECORDING REQUESTED BY AND
WHEN RECORDED MAIL TO:



OAKDALE IRRIGATION DISTRICT
1205 East F Street
Oakdale, CA 95361

APN: 014-030-001

Space above this line for recorder's use

GRANT OF EASEMENT

ON THE ALBERS DRAIN AND EDWARDS DRAIN

FOR VALUABLE CONSIDERATION OF \$10.00, receipt of which is hereby acknowledged, **JOHN P. BRICHETTO AND JACQUELINE J. BRICHETTO, TRUSTEES OF THE JOHN AND JACQUELINE BRICHETTO 2008 REVOCABLE TRUST DATED MAY 7, 2008, AND JOSEPH P. BRICHETTO, A SINGLE MAN, AND JOHN M. BRICHETTO AND LEE ANA L. BRICHETTO, HUSBAND AND WIFE AS JOINT TENANTS**, (hereinafter referred to as "**GRANTOR**"), hereby grants to the **OAKDALE IRRIGATION DISTRICT**, an irrigation district organized and existing under the laws of the State of California (hereinafter referred to as "**DISTRICT**"), a 30 foot perpetual easement and right-of-way as described in the attached **Exhibits "A", "B", and "C"**, for the purpose of laying down, constructing, patrolling, maintaining, operating, repairing, removing, replacing, enlarging, reconstructing, and other uses as the DISTRICT may see fit including the transmission and distribution of water and the collection, transmission, and disposal of drainage water, a pipe or pipes, canal or channel, well and related pump(s) and all braces, connections, fastenings, manholes, standpipes, valves, control boxes, meters and other appliances and fixtures reasonable and necessary for use in connection therewith or appurtenant thereto (hereinafter "**said facilities**"), over, under and across that real property in the County of Stanislaus, State of California, described in attached **Exhibit "D"**:

TOGETHER WITH the right at all times of ingress to and egress from said easement and right-of-way with vehicles, machinery, and equipment customary for laying down, constructing, patrolling, maintaining, operating, repairing, removing, replacing, enlarging, reconstructing, and using said facilities. GRANTOR further grants to DISTRICT the right of necessary ingress to and egress from said easement over and across adjacent lands of GRANTOR by means of roads and lanes thereon, if such there be, otherwise by such route or routes as shall occasion the least practicable damage and inconvenience to GRANTOR.

GRANTOR grants DISTRICT the right to install and maintain fences and gates as required along and across said right-of-way at the sole discretion of DISTRICT for DISTRICT purposes only.


In order to protect DISTRICT'S FACILITIES, GRANTOR shall not place or permit to be placed on, in, across, under, or through said right-of-way any tree, building, structure, explosive, well, power pole, guy wire, or any other obstruction, which may or may not damage DISTRICT facilities, interfere with the operation of DISTRICT FACILITIES or obstruct access along the easement without first obtaining written permission of DISTRICT. Such written permission from DISTRICT shall not be unreasonably withheld.

GRANTOR shall not excavate, or permit any excavation, within said easement and right-of-way without first receiving written permission from DISTRICT and notifying DISTRICT at least forty-eight (48) hours in advance.

IN THE EVENT that DISTRICT herein shall abandon the use of said facilities as evidenced by Resolution of its Board of Directors, the easement and right-of-way herein granted shall revert to GRANTORS, their heirs, successors or assigns.

The Grant of Easement, and each of its covenants, shall run with the land and shall be binding on and shall inure to the benefit of each of the parties hereto and each of their heirs, legal representatives, successors, and assigns.

"OWNER(S)"



John P. Brichetto, Trustee
John and Jacqueline Brichetto
Revocable Trust dated May 7, 2008

1/27/17

Date



Jacqueline J. Brichetto, Trustee
John and Jacqueline Brichetto
Revocable Trust dated May 7, 2008

2/1/2017

Date



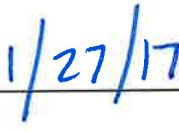
Joseph P. Brichetto, Owner

1/27/17

Date

SIGNATURES MUST BE NOTARIZED AND BE PER RECORDED DEED


John M. Brichetto, Owner


Date


Lee Ana L. Brichetto, Owner


Date

Mailing Address: P.O. Box 11600
Oakdale, CA, 95361

SIGNATURES MUST BE NOTARIZED AND BE PER RECORDED DEED

CERTIFICATE OF ACCEPTANCE AND CONSENT TO RECORDATION

This is to certify that the interest in real property conveyed by Grant of Easement dated

_____, 2017, from John P. Brichetto and Jacqueline J. Brichetto, trustees of the John and Jacqueline Brichetto 2008 Revocable Trust dated May 7, 2008, Joseph P. Brichetto, a single man, and John M. Brichetto and Lee Ana L. Brichetto, husband and wife as joint tenants to the Oakdale Irrigation District, an irrigation district organized and existing under the laws of the State of California, is hereby accepted by the undersigned officer or agent on behalf of the Board of Directors of the Oakdale Irrigation District pursuant to authority conferred by resolution of the Board of Directors of the Oakdale Irrigation District adopted on August 19th, 1997, and the Grantee consents to recordation thereof by its duly authorized officer.

OAKDALE IRRIGATION DISTRICT

Steve Knell, P.E.
General Manager/Secretary

Date

CERTIFICATE OF ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California
County of **Stanislaus**

On Jan 27, 2017 before me Carla Lillie, Notary Public,
personally appeared John M. Brichetto

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal

Carla Lillie

Signature

(Seal)



CERTIFICATE OF ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California
County of **Stanislaus**

On Jan. 27, 2017 before me Carla Lillie, Notary Public,
personally appeared Joseph P. Brichetto

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal

Carla Lillie

Signature

(Seal)



CERTIFICATE OF ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California
County of **Stanislaus**

On Jan 27, 2017 before me Carla Lillie, Notary Public,
personally appeared John P. Brichetto

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal

Carla Lillie
Signature

(Seal)



CERTIFICATE OF ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California
County of **Stanislaus**

On Jan 30, 2017 before me Carla Lillie, Notary Public,
personally appeared Lee Ana L. Brichetto

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal

Carla Lillie
Signature

(Seal)



CERTIFICATE OF ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California
County of **Stanislaus**

On Feb 1, 2017 before me Carla Lillie, Notary Public,
personally appeared Jacqueline J. Brichetto
who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are
subscribed to the within instrument and acknowledged to me that he/she/they executed the same in
his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the
person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing
paragraph is true and correct.

WITNESS my hand and official seal

Carla Lillie
Signature

(Seal)



CERTIFICATE OF ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California
County of **Stanislaus**

On _____ before me _____, Notary Public,
personally appeared _____
who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are
subscribed to the within instrument and acknowledged to me that he/she/they executed the same in
his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the
person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing
paragraph is true and correct.

WITNESS my hand and official seal

Signature

(Seal)

EXHIBIT "A"

LEGAL DESCRIPTION

30' O.I.D. PIPELINE EASEMENT (A)

A 30.00 foot wide strip of land being a portion of Lots 10, 14 and 23 as shown on that Map of the Albers Colony Tract filed for record in Book 8 of Maps at Page 23, Stanislaus County Records, situate in east half of Section 16, Township 3 South, Range 10 East, Mount Diablo Meridian, Stanislaus County, California, the centerline of said strip being more particularly described as:

Commencing at the northeast corner of said Section 16; thence along the north line of said Section 16 South 89°27'00" West 802.84 feet; thence leaving said north line South 00°33'00" East 33.00 feet to a point on the south line of the 33.00 foot wide half-width Milnes Road, said point being the **Point of Beginning (A)**; thence leaving said south line South 19°28'18" West 231.68 feet; thence South 22°25'10" West 412.44 feet; thence South 00°21'04" East 2234.03 feet; thence South 37°24'49" East 15.70 feet to a point on the north line of the 60.00 foot wide O.I.D. Albers lateral as shown on said Map of the Albers Colony Tract and being the **Point of Terminus (A)**.

All as shown on Exhibit "C" and made a part hereof.

END DESCRIPTION



EXHIBIT "B"

LEGAL DESCRIPTION

30' O.I.D. PIPELINE EASEMENT (B)

A 30.00 foot wide strip of land being a portion of Lots 11, and 12 as shown on that Map of the Albers Colony Tract filed for record in Book 8 of Maps at Page 23, Stanislaus County Records, situate in east half of Section 16, Township 3 South, Range 10 East, Mount Diablo Meridian, Stanislaus County, California, the centerline of said strip being more particularly described as:

Commencing at the northeast corner of said Section 16; thence along the north line of said Section 16 South $89^{\circ}27'00''$ West 1894.36 feet; thence leaving said north line South $00^{\circ}33'00''$ East 33.00 feet to a point on the south line of the 33.00 foot wide half-width Milnes Road, said point being the **Point of Beginning (B)**; thence South $39^{\circ}52'52''$ West 1126.60 feet to a point on the east line of the 20.00 foot wide half-width of Wellsford Road, being a "County Road" as shown on said Map of the Albers Colony Tract and being the **Point of Terminus (B)**.

All as shown on Exhibit "C" and made a part hereof.

END DESCRIPTION





EXHIBIT "D"

LEGAL DESCRIPTION FOR SUBJECT PROPERTY

The land referred to herein below is situated in the unincorporated area of the County of Stanislaus, State of California and is described as follows:

Parcel One:

A portion of Lots 7, 8, 15, 22, 25, 26, 10, 11, 13, 14, and 23 and all of Lot 9 of Albers Colony Tract, according to the Official Map thereof filed for record September 29, 1914 in Book 8 of Maps, Page 23, Stanislaus County Records, described as follows:

Beginning at the corner common to Sections 9, 10, 15, and 16, Township 3 South, Range 10 East, Mount Diablo Base and Meridian; thence North 89° 48' East along the line common to said Sections 10 and 15, 18.778 chains to a point in the center line of Oakdale Irrigation District's Albers Lateral; thence along the center line of said lateral the courses and distances:

South 10° 21 1/2' West 1.6164 chains;

South 26° 12' West 1.2320 chains;

South 47° 04' West 8.2192 chains;

South 30° 19 1/2' West 5.1333 chains;

thence leaving the center line of said lateral and running South 0° 12' West 32.2305 chains to a point; thence North 80° 32' West 4.6954 chains to a point; thence North 78° 45' West 13.8758 chains to a point in the center line of the above mentioned Albers Lateral; thence along the center line of said lateral South 69° 52' West 6.7877 chains; thence leaving the center line of said lateral and running North 17° 27' West 0.0667 chains to an iron pipe at the Southeasterly corner of the Easterly boundary of said parcel of land conveyed to E. K. Finney by Deed recorded in Book 672, Page 446, of Official Records; thence along the Easterly boundary of said parcel of land so conveyed the following courses and distances:

North 17° 27' West 20.732 chains;

North 6° 38' West 0.516 chains;

North 23° 02' East 25.366 chains to a point in the line common to Sections 9 and 16, above Township and Range;

thence along said common section line North 89° 46' East 11.763 chains to the point of beginning.

Except therefrom all that portion lying within the right-of-way of the Oakdale Irrigation District's Albers Lateral.

APN: 014-006-001 and 002

APN: 014-030-001 (portion)

Parcel Three:

All that portion of the East one-half of Section 16, Township 3 South, Range 10 East, Mount Diablo Base and Meridian, according to the United States Government Township Plats, being also all of Lots 12 and 24 and fractional portions of Lots 10, 11, 13, 14 and 23 of Albers Colony Tract, according to the Official Map thereof filed for record September 29, 1914 in Book 8 of Maps, Page 23, Stanislaus County Records, described as follows:

Beginning at the quarter section corner common to Sections 9 and 16, above Township and Range; thence South $0^{\circ} 52'$ East along the quarter section line of said Section 16, 41.625 chains to a point on the North right-of-way line of Modesto Irrigation District Main Canal; thence along said North right-of-way line of said Modesto Irrigation District Main Canal the following four courses and distances:

South $25^{\circ} 57'$ East 1.490 chains;

South $47^{\circ} 09'$ East 1.800 chains;

South $54^{\circ} 28'$ East 12.281 chains;

South $38^{\circ} 12'$ East 1.900 chains to a point intersecting the center line of Albers Canal of the Oakdale Irrigation District; thence along the center line of Albers Lateral of the Oakdale Irrigation District the following two courses and distances:

North $42^{\circ} 28'$ East 10.75 chains;

North $69^{\circ} 30'$ East 4.05 chains;

thence North $17^{\circ} 33'$ West 20.732 chains; thence North $6^{\circ} 44'$ West 0.516 chains; thence North $22^{\circ} 56'$ East 25.366 chains to a point on the line common to Sections 9 and 16; thence South $89^{\circ} 40'$ West along the line common to Sections 9 and 16, 28.386 chains to the point of beginning.

Except therefrom that portion lying within the right-of-way of Albers Canal of the Oakdale Irrigation District.

APN: 014-030-001 (portion)

END OF DESCRIPTION

RECORDING REQUESTED BY &
WHEN RECORDED RETURN TO:



OAKDALE IRRIGATION DISTRICT
1205 East F Street
Oakdale, CA 95361

APNs: 014-030-001

**ENCROACHMENT PERMIT
ON THE ALBERS DRAIN AND EDWARDS DRAIN**

THIS ENCROACHMENT PERMIT executed this SEVENTH day of FEBRUARY, 2017, by and between OAKDALE IRRIGATION DISTRICT, an irrigation district organized and existing under the laws of the State of California, hereinafter referred to as "DISTRICT," and JOHN P. BRICHETTO AND JACQUELINE J. BRICHETTO, TRUSTEES OF THE JOHN AND JACQUELINE BRICHETTO 2008 REVOCABLE TRUST DATED MAY 7, 2008, JOSEPH P. BRICHETTO, A SINGLE MAN, AND JOHN M. AND LEE ANA L. BRICHETTO, HUSBAND AND WIFE AS JOINT TENANTS, hereinafter referred to as "OWNER" sets forth Permits as follows:

WITNESSETH:

WHEREAS, the Board of Directors of the DISTRICT adopted the request for an Encroachment Permit on February 7, 2017, as shown in the Resolution attached hereto as **Exhibit "A."**

WHEREAS, DISTRICT occupies easements and fee-owned lands for its irrigation and drainage facilities, and

WHEREAS, OWNER'S property described in the attached **Exhibit "B"** (the "Subject Property") is subject to all or a portion of said easements, and

WHEREAS, OWNER has title to the Subject Property and wishes to encroach upon the ALBERS DRAIN and EDWARDS DRAIN right-of-way with encroachments as follows:

1. One (1) 15" 100 PSI PIP PVC private irrigation pipeline crossing the Albers Drain.
2. One (1) 2" Sch. 40 PVC private irrigation pipeline crossing the Albers Drain.
3. One (1) 4" Sch. 40 PVC private agricultural filter station backflush discharge pipeline on the Albers Drain.
4. One (1) 4" Sch. 40 PVC private irrigation pipeline crossing the Edwards Drain.
5. One (1) 2" Sch. 40 PVC private irrigation pipeline crossing the Edwards Drain.

WHEREAS, DISTRICT is willing to permit said encroachments provided the OWNER agrees to the following provisions:

THIS PERMIT shall be a covenant binding upon both DISTRICT and OWNER.

IN WITNESS WHEREOF, DISTRICT and OWNER have caused their names to be affixed.

OAKDALE IRRIGATION DISTRICT
"DISTRICT"


Steve Webb, President
Board of Directors

Date

Steve Knell, P.E.
General Manager/Secretary

Date


"OWNER"



John P. Brichetto, Trustee
John and Jacqueline Brichetto
Revocable Trust dated May 7, 2008

1/27/17

Date



Jacqueline J. Brichetto, Trustee
John and Jacqueline Brichetto
Revocable Trust dated May 7, 2008

2/1/2017

Date



Joseph P. Brichetto, Owner

1/27/17

Date



John M. Brichetto, Owner

1/27/17

Date



Lee Ana L. Brichetto, Owner

1/30/17

Date

Mailing Address: P.O. Box 11600
Oakdale, CA, 95361

SIGNATURES MUST BE NOTARIZED AND BE PER RECORDED DEED

CERTIFICATE OF ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California
County of **Stanislaus**

On Jan. 27, 2017 before me Carla Lillie, Notary Public,
personally appeared John m. Brichetta
who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are
subscribed to the within instrument and acknowledged to me that he/she/they executed the same in
his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the
person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing
paragraph is true and correct.

WITNESS my hand and official seal

Carla Lillie

Signature

(Seal)



CERTIFICATE OF ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California
County of **Stanislaus**

On Jan. 27, 2017 before me Carla Lillie, Notary Public,
personally appeared Joseph P. Brichetta
who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are
subscribed to the within instrument and acknowledged to me that he/she/they executed the same in
his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the
person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing
paragraph is true and correct.

WITNESS my hand and official seal

Carla Lillie

Signature

(Seal)



CERTIFICATE OF ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California
County of **Stanislaus**

On Jan 27, 2017 before me Carla Lillie, Notary Public,
personally appeared John P. Bricchetto

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

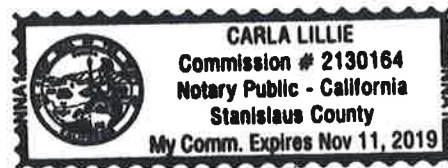
I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal

Carla Lillie

Signature

(Seal)



CERTIFICATE OF ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California
County of **Stanislaus**

On Jan 30, 2017 before me Carla Lillie, Notary Public,
personally appeared Lee Ana L. Bricchetto

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal

Carla Lillie

Signature

(Seal)



CERTIFICATE OF ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California
County of **Stanislaus**

On Feb 1, 2017 before me Carla Lillie, Notary Public,
personally appeared Jacqueline J. Brichette
who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are
subscribed to the within instrument and acknowledged to me that he/she/they executed the same in
his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the
person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing
paragraph is true and correct.

WITNESS my hand and official seal

Carla Lillie
Signature (Seal)



CERTIFICATE OF ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California
County of **Stanislaus**

On _____ before me _____, Notary Public,
personally appeared _____
who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are
subscribed to the within instrument and acknowledged to me that he/she/they executed the same in
his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the
person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing
paragraph is true and correct.

WITNESS my hand and official seal

Signature (Seal)

EXHIBIT "A"

**OAKDALE IRRIGATION DISTRICT
RESOLUTION NO. 2017-NIL**

ENCROACHMENT PERMIT ON THE ALBERS DRAIN AND EDWARDS DRAIN

APN: 014-030-001

WHEREAS, JOHN P. BRICHETTO AND JACQUELINE J. BRICHETTO, TRUSTEES OF THE JOHN AND JACQUELINE BRICHETTO 2008 REVOCABLE TRUST DATED MAY 7, 2008, JOSEPH P. BRICHETTO, A SINGLE MAN, AND JOHN M. AND LEE ANA L. BRICHETTO, HUSBAND AND WIFE AS JOINT TENANTS are the titled owners of the property located in the East 1/2 of Section 16, Township 3 South, Range 10 East, Mount Diablo Base and Meridian, in the unincorporated area of Stanislaus County, California; and

WHEREAS, JOHN P. BRICHETTO AND JACQUELINE J. BRICHETTO, TRUSTEES OF THE JOHN AND JACQUELINE BRICHETTO 2008 REVOCABLE TRUST DATED MAY 7, 2008, JOSEPH P. BRICHETTO, A SINGLE MAN, AND JOHN M. AND LEE ANA L. BRICHETTO, HUSBAND AND WIFE AS JOINT TENANTS have requested an Encroachment Permit for:

1. One (1) 15" 100 PSI PIP PVC private irrigation pipeline crossing the Albers Drain.
2. One (1) 2" Sch. 40 PVC private irrigation pipeline crossing the Albers Drain.
3. One (1) 4" Sch. 40 PVC private agricultural filter station backflush discharge pipeline on the Albers Drain.
4. One (1) 4" Sch. 40 PVC private irrigation pipeline crossing the Edwards Drain.
5. One (1) 2" Sch. 40 PVC private irrigation pipeline crossing the Edwards Drain.

WHEREAS, the Encroachment Permit has been signed by the titled owners.

NOW THEREFORE BE IT RESOLVED, that the provisions contained in the Encroachment Permit of the above-identified land have been accepted by the titled owners of said property, is hereby accepted by the District, and that the President be and is hereby authorized and directed to have the same recorded on the records of Stanislaus County, and that said Encroachment Permit in its entirety is incorporated herein by reference to this Resolution.

Upon Motion of Director _____ seconded by Director _____, and duly submitted to the Board for its consideration, the above-titled Resolution was adopted this seventh day of February, 2017.

OAKDALE IRRIGATION DISTRICT

Steve Webb, President
Board of Directors

Steve Knell, P.E.
General Manager/Secretary

EXHIBIT "B"

LEGAL DESCRIPTION FOR SUBJECT PROPERTY

The land referred to herein below is situated in the unincorporated area of the County of Stanislaus, State of California and is described as follows:

Parcel One:

A portion of Lots 7, 8, 15, 22, 25, 26, 10, 11, 13, 14, and 23 and all of Lot 9 of Albers Colony Tract, according to the Official Map thereof filed for record September 29, 1914 in Book 8 of Maps, Page 23, Stanislaus County Records, described as follows:

Beginning at the corner common to Sections 9, 10, 15, and 16, Township 3 South, Range 10 East, Mount Diablo Base and Meridian; thence North 89° 48' East along the line common to said Sections 10 and 15, 18.778 chains to a point in the center line of Oakdale Irrigation District's Albers Lateral; thence along the center line of said lateral the courses and distances:

South 10° 21 1/2' West 1.6164 chains;

South 26° 12' West 1.2320 chains;

South 47° 04' West 8.2192 chains;

South 30° 19 1/2' West 5.1333 chains;

thence leaving the center line of said lateral and running South 0° 12' West 32.2305 chains to a point; thence North 80° 32' West 4.6954 chains to a point; thence North 78° 45' West 13.8758 chains to a point in the center line of the above mentioned Albers

Lateral; thence along the center line of said lateral South 69° 52' West 6.7877 chains;

thence leaving the center line of said lateral and running North 17° 27' West 0.0667 chains to an iron pipe at the Southeasterly corner of the Easterly boundary of said parcel of land conveyed to E. K. Finney by Deed recorded in Book 672, Page 446, of Official Records; thence along the Easterly boundary of said parcel of land so conveyed the following courses and distances:

North 17° 21 1/2' West 1.6164 chains;

North 6° 38' West 0.516 chains;

North 23° 02' East 25.366 chains to a point in the line common to Sections 9 and 16, above Township and Range;

thence along said common section line North 89° 46' East 11.763 chains to the point of beginning.

Except therefrom all that portion lying within the right-of-way of the Oakdale Irrigation District's Albers Lateral.

APN: 014-006-001 and 002

APN: 014-030-001 (portion)

Parcel Two:

The West half of the Southeast quarter of the Southeast quarter of Section 9, Township 3 South, Range 10 East, Mount Diablo Base and Meridian, according to the United States Government Township Plats.

APN: 014-018-004

Parcel Three:

All that portion of the East one-half of Section 16, Township 3 South, Range 10 East, Mount Diablo Base and Meridian, according to the United States Government Township Plats, being also all of Lots 12 and 24 and fractional portions of Lots 10, 11, 13, 14 and 23 of Albers Colony Tract, according to the Official Map thereof filed for record September 29, 1914 in Book 8 of Maps, Page 23, Stanislaus County Records, described as follows:

Beginning at the quarter section corner common to Sections 9 and 16, above Township and Range; thence South $0^{\circ} 52'$ East along the quarter section line of said Section 16, 41.625 chains to a point on the North right-of-way line of Modesto Irrigation District Main Canal; thence along said North right-of-way line of said Modesto Irrigation District Main Canal the following four courses and distances:

South $25^{\circ} 57'$ East 1.490 chains;

South $47^{\circ} 09'$ East 1.800 chains;

South $54^{\circ} 28'$ East 12.281 chains;

South $38^{\circ} 12'$ East 1.900 chains to a point intersecting the center line of Albers Canal of the Oakdale Irrigation District; thence along the center line of Albers Lateral of the Oakdale Irrigation District the following two courses and distances:

North $42^{\circ} 28'$ East 10.75 chains;

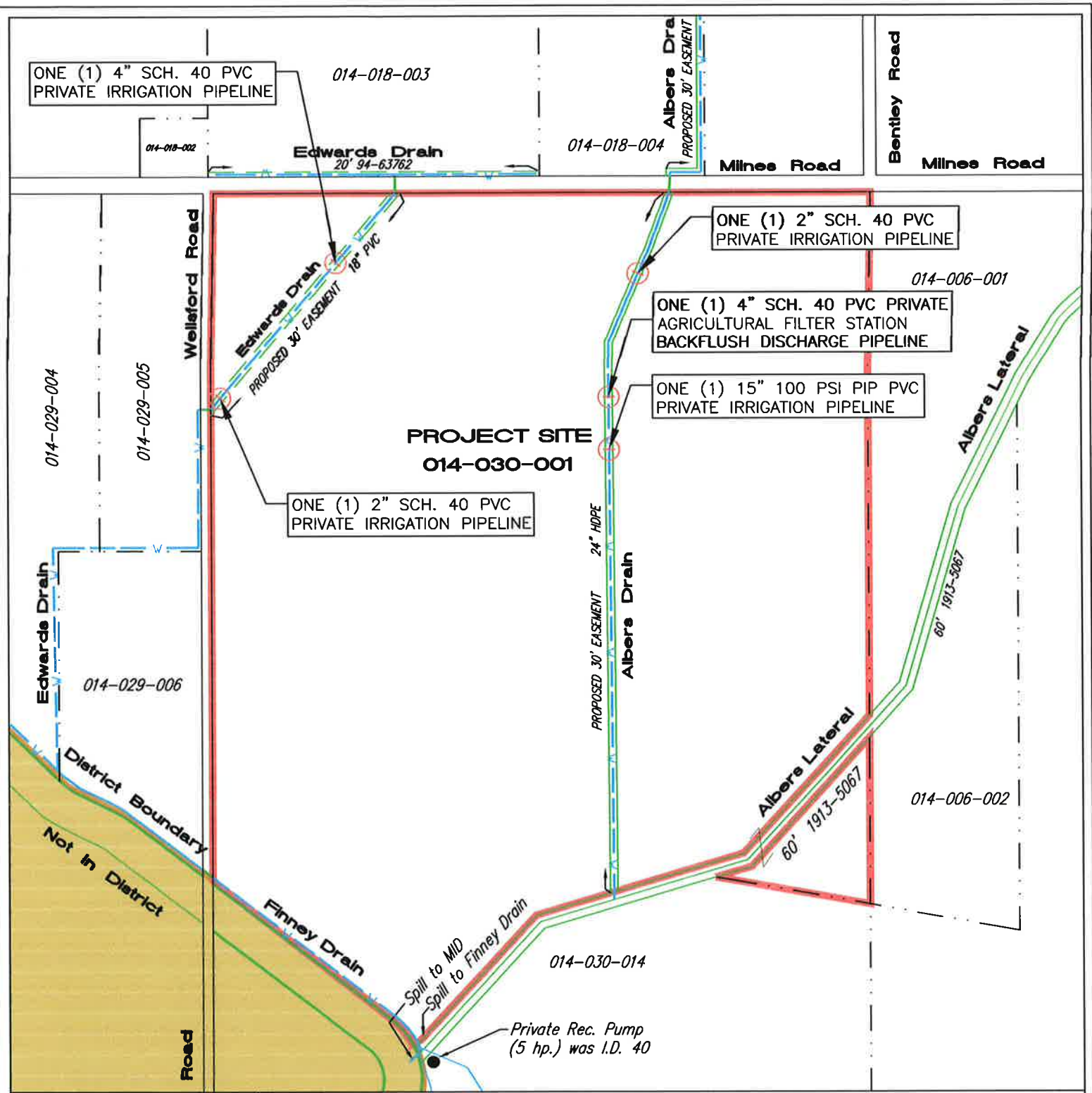
North $69^{\circ} 30'$ East 4.05 chains;

thence North $17^{\circ} 33'$ West 20.732 chains; thence North $6^{\circ} 44'$ West 0.516 chains; thence North $22^{\circ} 56'$ East 25.366 chains to a point on the line common to Sections 9 and 16; thence South $89^{\circ} 40'$ West along the line common to Sections 9 and 16, 28.386 chains to the point of beginning.

Except therefrom that portion lying within the right-of-way of Albers Canal of the Oakdale Irrigation District.

APN: 014-030-001 (portion)

END OF DESCRIPTION



OAKDALE IRRIGATION DISTRICT
 1205 EAST F STREET
 OAKDALE CALIFORNIA 95361

**PROJECT SITE MAP
 ENCROACHMENT PERMIT
 APN: 014-030-001**



DATE: OCT. 4, 2016
 DRAWN BY: CMK
 CHECKED BY: ECT

EXHIBIT "C"

**NOT TO SCALE
 SHEET 1 of 1**

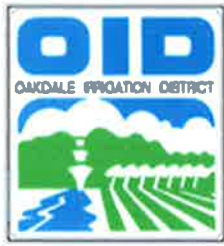
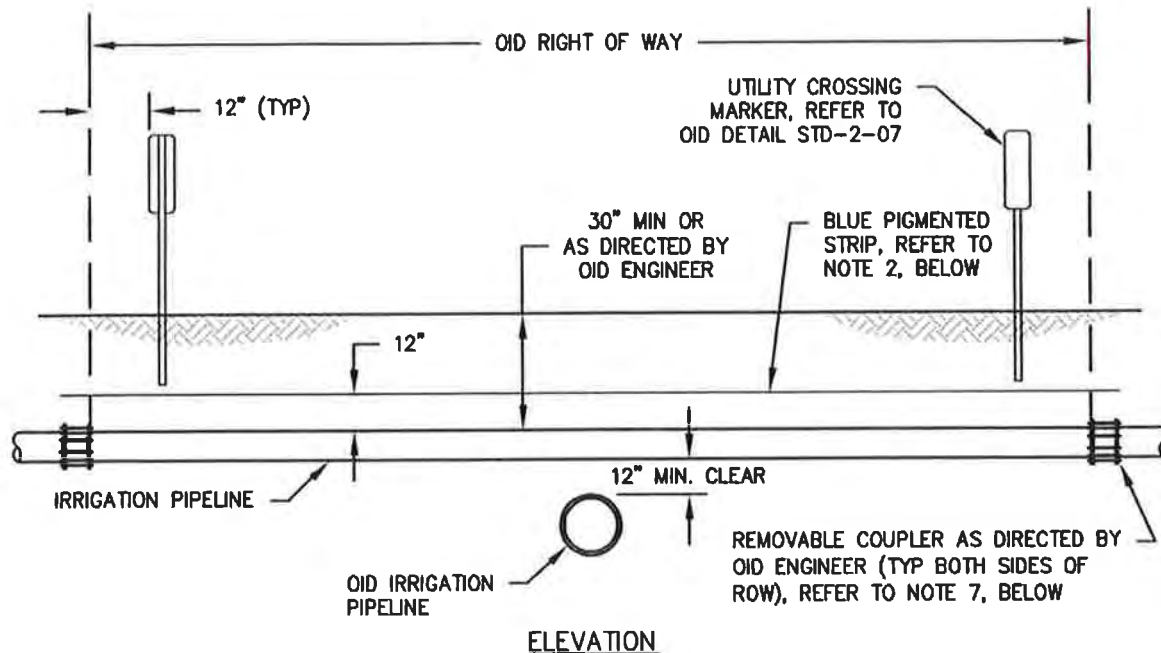




EXHIBIT D

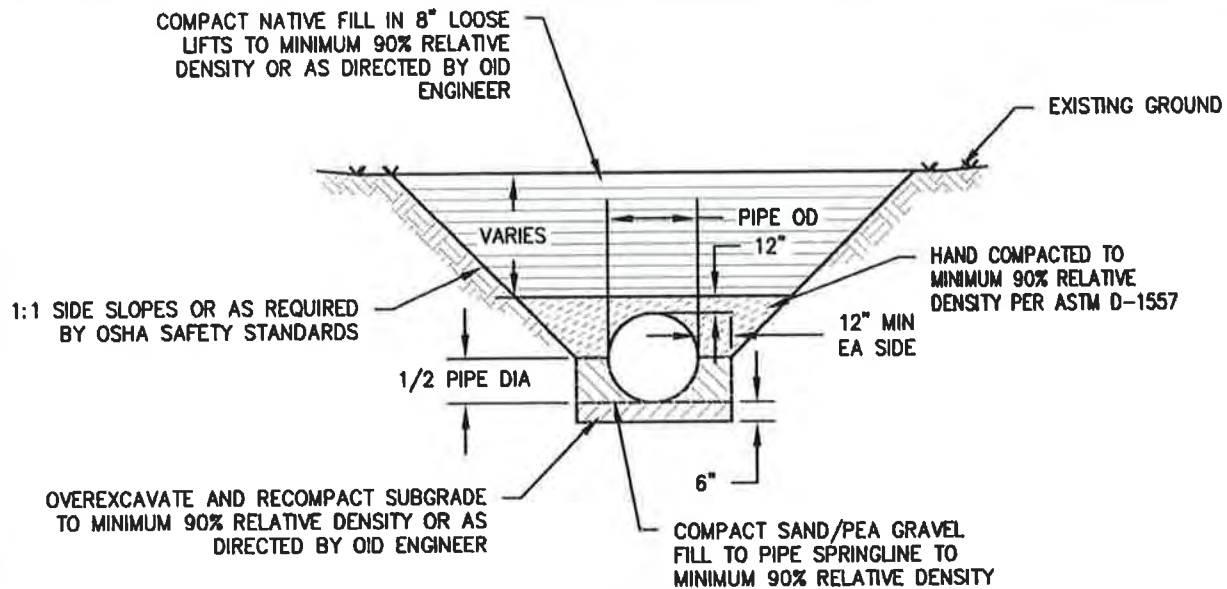
**OID STANDARD DETAILS: STD-2-05, STD-5-01
THREE (3) PAGES TOTAL, INCLUDING COVER SHEET**



CONSTRUCTION NOTES



1. MINIMUM DEPTHS SHOWN ARE REQUIRED WITHIN OID PROPERTY OR AN OID EXCLUSIVE EASEMENT. WHEN MINIMUM DEPTH AND CLEARANCES CANNOT BE MAINTAINED, BORING UNDER OID PIPELINE SHALL BE REQUIRED IN ACCORDANCE WITH OID DETAIL STD-2-04. IN NON-OID RIGHTS OF WAY, MINIMUM COVER SHALL BE DETERMINED BY THE CONTROLLING AGENCY (MINIMUM CLEARANCES SHALL REMAIN IN EFFECT).
2. WHERE DEPTH OF AN OID PIPELINE IS UNKNOWN, IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE THE PIPELINE. ONLY HAND AUGURING SHALL BE PERMITTED.
3. THIS STANDARD APPLIES TO IRRIGATION WATER PIPELINE CROSSINGS ONLY. WHEN CARRIER PIPE TRANSPORTS SEWAGE OR TOXIC SUBSTANCES, OID DETAIL STD-2-06 SHALL BE USED. THE OID ENGINEER RESERVES THE RIGHT TO DETERMINE THE APPLICATION OF THIS STANDARD.
4. FOR IRRIGATION PIPELINES, PROVIDE BLUE PIGMENTED WARNING STRIP PLACED ALONG THE CENTER AND 12 INCHES ABOVE THE TOP OF ANY PIPE, WITHIN OID RIGHT OF WAY.
5. UTILITY CROSSING MARKERS SHALL BE PLACED AS SHOWN ON OID DETAIL STD-2-07, UTILITY CROSSING MARKER.
6. CLEARANCES AND MINIMUM DIMENSIONS AS SHOWN MEASURED FROM THE WIDEST POINT ON THE PIPE SUCH AS BELLS OR COUPLERS.
7. IF PIPE CHANGES SIZE OR MATERIAL UPON LEAVING OID RIGHT OF WAY, A REMOVABLE COUPLER SHALL BE INSTALLED. REMOVABLE COUPLER SHALL BE STEEL BODY GASKETED SLEEVE TYPE, DRESSER STYLE 38, OR APPROVED EQUIVALENT. ALL NUTS, BOLTS, AND WASHERS USED TO SECURE UNDERGROUND FITTINGS SHALL BE STAINLESS STEEL. AFTER INSTALLATION, ALL HARDWARE SHALL BE COATED WITH A RUST PREVENTATIVE, WRAPPED WITH 4 MIL POLYETHYLENE SHEETING, AND SECURED WITH PVC TAPE.
8. IRRIGATION PIPELINE SHALL BE SEAMLESS WELDED STEEL PIPE (MINIMUM GAUGE 10, 0.135 INCH WALL THICKNESS), DUCTILE IRON (MINIMUM DIP CLASS 50), OR POLYVINYL CHLORIDE 100 PSI PIPE THROUGH THE ENTIRE OID RIGHT OF WAY. STEEL OR DIP PIPE SHALL BE COATED WITH 2 COATS OF BITUMINOUS MATERIAL WHERE BURIED. BITUMINOUS COATING SHALL BE ALLOWED TO DRY BEFORE BACKFILL. ALL JOINTS SHALL BE WATER TIGHT.
9. BACKFILL AND SUBGRADES SHALL BE COMPACTED TO MINIMUM 90% RELATIVE DENSITY PER ASTM D-1557, AND SHALL BE MANUALLY COMPACTED A MINIMUM DEPTH OF 12 INCHES OVER TOP OF PIPE OR AS DIRECTED BY OID ENGINEER. THE MAXIMUM LAYER THICKNESS SHALL BE 8 INCHES BEFORE COMPACTION. REFER TO OID DETAIL STD-5-01, TYPICAL PIPE TRENCH.
10. PIPE SHALL NOT BE ENCASED IN CONCRETE SLURRY UNLESS DIRECTED BY OID ENGINEER.

| | | | | |
|---|---|--|---|---|
|  | OAKDALE IRRIGATION DISTRICT | | IRRIGATION PIPELINE CROSSING OVER OID PIPELINE | |
| | APPROVED:  | | SCALE: NOT TO SCALE | STANDARD DETAIL STD-2-05 SHEET 1 OF 1 |
| | JOHN B. DAVIDS, P.E., DISTRICT ENGINEER | | DATE: JANUARY 2012 | |



CONSTRUCTION NOTES

1. BACKFILL AND SUBGRADES SHALL BE COMPACTED TO MINIMUM 90% RELATIVE DENSITY PER ASTM D-1557 AND SHALL BE MANUALLY COMPACTED A MINIMUM DEPTH OF 12 INCHES OVER TOP OF PIPE OR AS DIRECTED BY OID ENGINEER. THE MAXIMUM LAYER THICKNESS SHALL BE 8 INCHES BEFORE COMPACTION.
2. BACKFILL SHALL BE SELECT NATIVE MATERIAL, CONTAIN NO MATERIAL OVER 3 INCHES IN DIAMETER OR LENGTH, AND SHALL BE COMPACTED AGAINST UNDISTURBED EARTH. FILL MATERIAL SHALL CONTAIN NO SOD, BRUSH, ROOTS, OR OTHER ORGANIC OR OTHERWISE UNSUITABLE MATERIAL.
3. PIPELINE SHALL BE INSTALLED ACCORDING TO MANUFACTURER INSTRUCTIONS AND SPECIFICATIONS. MINIMUM DEPTH OF COVER SHALL BE 30 INCHES OR AS DIRECTED BY OID ENGINEER.
4. COMPACTION TESTS SHALL BE AT THE LANDOWNER OR DEVELOPER EXPENSE. ANY RETESTS SHALL BE PAID BY THE CONTRACTOR. FREQUENCY AND LOCATION OF THE TESTS SHALL BE AS DIRECTED BY OID ENGINEER.
5. DEWATERING DUE TO HIGH GROUNDWATER OR CANAL SEEPAGE MAY BE REQUIRED. DEWATERING METHODS SHALL BE PRE-APPROVED BY OID ENGINEER PRIOR TO COMMENCEMENT OF DEWATERING.
6. TRENCH WIDTHS SHALL BE AS SHOWN UNLESS THE PIPELINE SIZE IS 4 INCHES OR SMALLER, WHERE THE TRENCH SHALL HAVE A 12 INCH MINIMUM WIDTH.
7. BEDDING, IF REQUIRED SHALL BE MINIMUM 4 INCHES AS DIRECTED BY OID ENGINEER. BEDDING SHALL CONFORM TO THE SPECIFICATIONS BELOW. SOIL TYPES SHALL BE AS DETERMINED BY OID ENGINEER.
 - A. ON SANDY SOIL (BEDDING & HAUNCHING):
NATIVE MATERIAL, IF SUITABLE, OR SAND AS DIRECTED BY OID ENGINEER
 - B. ON CLAY SOIL (BEDDING & HAUNCHING):
SAND OR APPROVED NATIVE MATERIAL AS PRE-APPROVED BY OID ENGINEER SHALL BE PLACED IN 8 INCH LIFTS
8. WATER PACKING OR JETTING SHALL ONLY BE USED ON SOILS PRE-APPROVED BY OID ENGINEER. WHEN WATER PACKING OR JETTING IS USED, THE AMOUNT OF WATER SHALL BE CONTROLLED TO INSURE THAT POOLING OF EXCESS WATER DOES NOT OCCUR. THE WETTED FILL MUST BE ALLOWED TO REACH OPTIMUM MOISTURE AND THEN MECHANICALLY COMPACTED TO MEET MINIMUM 90% RELATIVE DENSITY PER ASTM D-1557 BEFORE ADDITIONAL BACKFILLING IS DONE. CARE MUST BE EXERCISED TO PREVENT PIPE FLOTATION DURING WATER PACKING OR JETTING. MEASURES MUST BE PRE-APPROVED BY OID ENGINEER. THIS ITEM DOES NOT APPLY TO PVC OR HDPE PIPELINES.

| | | | | |
|---|---|--|---------------------|---|
|  | OAKDALE IRRIGATION DISTRICT | | TYPICAL PIPE TRENCH | |
| | APPROVED:  | | SCALE: NOT TO SCALE | STANDARD DETAIL STD-5-01 SHEET 1 OF 1 |
| | JOHN B. DAVIDS, P.E., DISTRICT ENGINEER | | DATE: JANUARY 2012 | |

RECORDING REQUESTED BY &
WHEN RECORDED RETURN TO:



OAKDALE IRRIGATION DISTRICT
1205 East F Street
Oakdale, CA 95361

APN: 014-030-001

**AGRICULTURAL DISCHARGE PERMIT
ON THE ALBERS DRAIN**

THIS AGRICULTURAL DISCHARGE PERMIT executed this SEVENTH day of FEBRUARY, 2017, by and between OAKDALE IRRIGATION DISTRICT, an irrigation district organized and existing under the laws of the State of California, hereinafter referred to as "DISTRICT," and JOHN P. BRICHETTO AND JACQUELINE J. BRICHETTO, TRUSTEES OF THE JOHN AND JACQUELINE BRICHETTO 2008 REVOCABLE TRUST DATED MAY 7, 2008, JOSEPH P. BRICHETTO, A SINGLE MAN, AND JOHN M. BRICHETTO AND LEE ANA L. BRICHETTO, HUSBAND AND WIFE, hereinafter referred to as "OWNER" sets forth Permits as follows:

WITNESSETH:

WHEREAS, the Board of Directors of the DISTRICT adopted the request for an Agricultural Discharge Permit on February 7, 2017, as shown in the Resolution attached hereto as Exhibit "A."

WHEREAS, DISTRICT occupies easements, rights of way and fee-owned lands for its irrigation and drainage facilities, hereinafter referred to as "CONDUITS".

WHEREAS, OWNER'S property described in the attached Exhibit "B" (the "Subject Property") is subject to all or a portion of said easements, rights of way and fee-owned lands, and

WHEREAS, OWNER has title to the Subject Property and requests that DISTRICT grant permission to release said Agricultural Discharge as needed, subject to the terms and conditions of this AGRICULTURAL DISCHARGE PERMIT from one (1) 4" Sch. 40 PVC private agricultural filter station backflush discharge pipeline.

THIS PERMIT shall be a covenant binding upon both DISTRICT and OWNER.

IN WITNESS WHEREOF, DISTRICT and OWNER have caused their names to be affixed.

OAKDALE IRRIGATION DISTRICT
"DISTRICT"

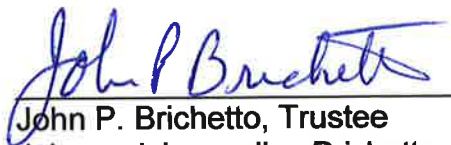
Steve Webb, President
Board of Directors

Date

Steve Knell, P.E.
General Manager/Secretary

Date

"OWNER"



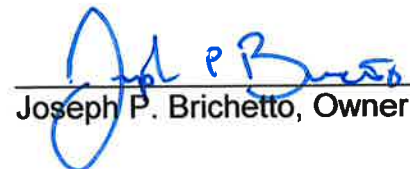
John P. Brichetto, Trustee
John and Jacqueline Brichetto
Revocable Trust dated May 7, 2008

1/27/17
Date



Jacqueline J. Brichetto, Trustee
John and Jacqueline Brichetto
Revocable Trust dated May 7, 2008

2/1/2017
Date



Joseph P. Brichetto, Owner

1/27/17
Date



John M. Brichetto, Owner

1/27/17
Date



Lee Ana L. Brichetto, Owner

1/30/17
Date

Mailing Address: P.O. Box 11600
Oakdale, CA, 95361

SIGNATURES MUST BE NOTARIZED AND BE PER RECORDED DEED

CERTIFICATE OF ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California
County of **Stanislaus**

On Jan 27, 2017 before me Carla Lillie, Notary Public,
personally appeared John M. Bricchetto
who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are
subscribed to the within instrument and acknowledged to me that he/she/they executed the same in
his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the
person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing
paragraph is true and correct.

WITNESS my hand and official seal

Carla Lillie
Signature

(Seal)



CERTIFICATE OF ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California
County of **Stanislaus**

On Jan 27, 2017 before me Carla Lillie, Notary Public,
personally appeared Joseph P. Bricchetto
who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are
subscribed to the within instrument and acknowledged to me that he/she/they executed the same in
his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the
person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing
paragraph is true and correct.

WITNESS my hand and official seal

Carla Lillie
Signature

(Seal)



CERTIFICATE OF ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California
County of **Stanislaus**

On Jan 27, 2017 before me Carla Lillie, Notary Public,
personally appeared John P. Brichetta
who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are
subscribed to the within instrument and acknowledged to me that he/she/they executed the same in
his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the
person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing
paragraph is true and correct.

WITNESS my hand and official seal

Carla Lillie
Signature

(Seal)



CERTIFICATE OF ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California
County of **Stanislaus**

On Jan. 30, 2017 before me Carla Lillie, Notary Public,
personally appeared Lee Ana L. Brichetta
who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are
subscribed to the within instrument and acknowledged to me that he/she/they executed the same in
his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the
person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing
paragraph is true and correct.

WITNESS my hand and official seal

Carla Lillie
Signature

(Seal)



CERTIFICATE OF ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California
County of **Stanislaus**

On Feb 1, 2017 before me Carla Lillie, Notary Public,
personally appeared Jacqueline J. Brichetto
who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are
subscribed to the within instrument and acknowledged to me that he/she/they executed the same in
his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the
person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing
paragraph is true and correct.

WITNESS my hand and official seal

Carla Lillie

Signature

(Seal)



CERTIFICATE OF ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California
County of **Stanislaus**

On _____ before me _____, Notary Public,
personally appeared _____
who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are
subscribed to the within instrument and acknowledged to me that he/she/they executed the same in
his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the
person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing
paragraph is true and correct.

WITNESS my hand and official seal

Signature

(Seal)

EXHIBIT "A"

**OAKDALE IRRIGATION DISTRICT
RESOLUTION NO. 2017-NIL**

AGRICULTURAL DISCHARGE PERMIT ON THE ALBERS DRAIN

APN: 014-030-001

WHEREAS, JOHN P. BRICHETTO AND JACQUELINE J. BRICHETTO, TRUSTEES OF THE JOHN AND JACQUELINE BRICHETTO 2008 REVOCABLE TRUST DATED MAY 7, 2008, JOSEPH P. BRICHETTO, A SINGLE MAN, AND JOHN M. BRICHETTO AND LEE ANA L. BRICHETTO, HUSBAND AND WIFE, are the titled owners of the property located in the Northeast 1/4 of Section 16, Township 3 South, Range 10 East, Mount Diablo Base and Meridian, in the unincorporated area of Stanislaus County, California; and has requested an Agricultural Discharge Permit for ONE (1) 4" SCH. 40 PVC PRIVATE AGRICULTURAL FILTER STATION BACKFLUSH DISCHARGE PIPELINE on the ALBERS DRAIN, constructed in accordance with District Standard Details.

WHEREAS, the Agricultural Discharge Permit has been signed by the titled OWNER.

NOW THEREFORE BE IT RESOLVED, that the provisions contained in the Agricultural Discharge Permit of the above-identified lands have been accepted by the titled OWNER of said property, is hereby accepted by the District, and that the President be and is hereby authorized and directed to have the same recorded on the records of Stanislaus County, and that said Agricultural Discharge Permit in its entirety is incorporated by reference to this Resolution.

Upon Motion of Director _____, seconded by Director _____, and duly submitted to the Board for its consideration, the above-titled Resolution was adopted this seventh day of February, 2017.

OAKDALE IRRIGATION DISTRICT

Steve Webb, President
Board of Directors

Steve Knell, P.E.
General Manager/Secretary

EXHIBIT "B"

LEGAL DESCRIPTION FOR SUBJECT PROPERTY

The land referred to herein below is situated in the unincorporated area of the County of Stanislaus, State of California and is described as follows:

Parcel One:

A portion of Lots 7, 8, 15, 22, 25, 26, 10, 11, 13, 14, and 23 and all of Lot 9 of Albers Colony Tract, according to the Official Map thereof filed for record September 29, 1914 in Book 8 of Maps, Page 23, Stanislaus County Records, described as follows:

Beginning at the corner common to Sections 9, 10, 15, and 16, Township 3 South, Range 10 East, Mount Diablo Base and Meridian; thence North 89° 48' East along the line common to said Sections 10 and 15, 18.778 chains to a point in the center line of Oakdale Irrigation District's Albers Lateral; thence along the center line of said lateral the courses and distances:

South 10° 21 1/2' West 1.6164 chains;

South 26° 12' West 1.2320 chains;

South 47° 04' West 8.2192 chains;

South 30° 19 1/2' West 5.1333 chains;

thence leaving the center line of said lateral and running South 0° 12' West 32.2305 chains to a point; thence North 80° 32' West 4.6954 chains to a point; thence North 78° 45' West 13.8758 chains to a point in the center line of the above mentioned Albers Lateral; thence along the center line of said lateral South 69° 52' West 6.7877 chains; thence leaving the center line of said lateral and running North 17° 27' West 0.0667 chains to an iron pipe at the Southeasterly corner of the Easterly boundary of said parcel of land conveyed to E. K. Finney by Deed recorded in Book 672, Page 446, of Official Records; thence along the Easterly boundary of said parcel of land so conveyed the following courses and distances:

North 17° 21 1/2' West 1.6164 chains;

North 6° 38' West 0.516 chains;

North 23° 02' East 25.366 chains to a point in the line common to Sections 9 and 16, above Township and Range;

thence along said common section line North 89° 46' East 11.763 chains to the point of beginning.

Except therefrom all that portion lying within the right-of-way of the Oakdale Irrigation District's Albers Lateral.

APN: 014-006-001 and 002

APN: 014-030-001 (portion)

Parcel Two:

The West half of the Southeast quarter of the Southeast quarter of Section 9, Township 3 South, Range 10 East, Mount Diablo Base and Meridian, according to the United States Government Township Plats.

APN: 014-018-004

Parcel Three:

All that portion of the East one-half of Section 16, Township 3 South, Range 10 East, Mount Diablo Base and Meridian, according to the United States Government Township Plats, being also all of Lots 12 and 24 and fractional portions of Lots 10, 11, 13, 14 and 23 of Albers Colony Tract, according to the Official Map thereof filed for record September 29, 1914 in Book 8 of Maps, Page 23, Stanislaus County Records, described as follows:

Beginning at the quarter section corner common to Sections 9 and 16, above Township and Range; thence South 0° 52' East along the quarter section line of said Section 16, 41.625 chains to a point on the North right-of-way line of Modesto Irrigation District Main Canal; thence along said North right-of-way line of said Modesto Irrigation District Main Canal the following four courses and distances:

South 25° 57' East 1.490 chains;

South 47° 09' East 1.800 chains;

South 54° 28' East 12.281 chains;

South 38° 12' East 1.900 chains to a point intersecting the center line of Albers Canal of the Oakdale Irrigation District; thence along the center line of Albers Lateral of the Oakdale Irrigation District the following two courses and distances:

North 42° 28' East 10.75 chains;

North 69° 30' East 4.05 chains;

thence North 17° 33' West 20.732 chains; thence North 6° 44' West 0.516 chains; thence North 22° 56' East 25.366 chains to a point on the line common to Sections 9 and 16;

thence South 89° 40' West along the line common to Sections 9 and 16, 28.386 chains to the point of beginning.

Except therefrom that portion lying within the right-of-way of Albers Canal of the Oakdale Irrigation District.

APN: 014-030-001 (portion)

END OF DESCRIPTION

BOARD AGENDA REPORT

Date: February 7, 2017
Item Number: 15
APN: 014-018-004

SUBJECT: APPROVE GRANT OF EASEMENT AND ENCROACHMENT PERMIT ON THE ALBERS DRAIN (APN: 014-018-004 – THE JOHN AND JACQUELINE BRICHETTO 2008 REVOCABLE TRUST DATED MAY 7, 2008, JOSEPH P. BRICHETTO, JOHN M. AND LEE ANA L. BRICHETTO)

RECOMMENDED ACTION: Approve

BACKGROUND AND/OR HISTORY:

A land use conversion project was recently completed on the parcel noted above. As part of the project the landowner granted the District an easement for the Albers Drain and is attached to this Agenda Report. A microirrigation system has been installed and a request to encroach upon the Albers Drain was received for one (1) 8" 100 PSI PIP PVC private irrigation pipeline crossing. An Encroachment Permit has been prepared for the encroachment noted above. OI staff has reviewed the project and recommends approval of the Grant of Easement and Encroachment Permit.

FISCAL IMPACT: A Structure Review Application fee has been submitted to cover all District costs.

ATTACHMENTS:

- Grant of Easement
- Encroachment Permit

Board Motion:

Motion by: _____ **Second by:** _____

VOTE

Webb (Yes/No) Doornenbal (Yes/No) Osmundson (Yes/No) Altieri (Yes/No) Santos (Yes/No)

Action(s) to be taken:

RECORDING REQUESTED BY AND
WHEN RECORDED MAIL TO:



OAKDALE IRRIGATION DISTRICT
1205 East F Street
Oakdale, CA 95361

APN: 014-018-004

Space above this line for recorder's use

GRANT OF EASEMENT

ON THE ALBERS DRAIN

FOR VALUABLE CONSIDERATION OF \$10.00, receipt of which is hereby acknowledged, **JOHN P. BRICHETTO AND JACQUELINE J. BRICHETTO, TRUSTEES OF THE JOHN AND JACQUELINE BRICHETTO 2008 REVOCABLE TRUST DATED MAY 7, 2008, AND JOSEPH P. BRICHETTO, A SINGLE MAN, AND JOHN M. BRICHETTO AND LEE ANA L. BRICHETTO, HUSBAND AND WIFE AS JOINT TENANTS**, (hereinafter referred to as "**GRANTOR**"), hereby grants to the **OAKDALE IRRIGATION DISTRICT**, an irrigation district organized and existing under the laws of the State of California (hereinafter referred to as "**DISTRICT**"), a 30 foot perpetual easement and right-of-way as described in the attached **Exhibits "A" and "B"**, for the purpose of laying down, constructing, patrolling, maintaining, operating, repairing, removing, replacing, enlarging, reconstructing, and other uses as the DISTRICT may see fit including the transmission and distribution of water and the collection, transmission, and disposal of drainage water, a pipe or pipes, canal or channel, well and related pump(s) and all braces, connections, fastenings, manholes, standpipes, valves, control boxes, meters and other appliances and fixtures reasonable and necessary for use in connection therewith or appurtenant thereto (hereinafter "**said facilities**"), over, under and across that real property in the County of Stanislaus, State of California, described in attached **Exhibit "C"**:

TOGETHER WITH the right at all times of ingress to and egress from said easement and right-of-way with vehicles, machinery, and equipment customary for laying down, constructing, patrolling, maintaining, operating, repairing, removing, replacing, enlarging, reconstructing, and using said facilities. GRANTOR further grants to DISTRICT the right of necessary ingress to and egress from said easement over and across adjacent lands of GRANTOR by means of roads and lanes thereon, if such there be, otherwise by such route or routes as shall occasion the least practicable damage and inconvenience to GRANTOR.

GRANTOR grants DISTRICT the right to install and maintain fences and gates as required along and across said right-of-way at the sole discretion of DISTRICT for DISTRICT purposes only.


In order to protect DISTRICT'S FACILITIES, GRANTOR shall not place or permit to be placed on, in, across, under, or through said right-of-way any tree, building, structure, explosive, well, power pole, guy wire, or any other obstruction, which may or may not damage DISTRICT facilities, interfere with the operation of DISTRICT FACILITIES or obstruct access along the easement without first obtaining written permission of DISTRICT. Such written permission from DISTRICT shall not be unreasonably withheld.

GRANTOR shall not excavate, or permit any excavation, within said easement and right-of-way without first receiving written permission from DISTRICT and notifying DISTRICT at least forty-eight (48) hours in advance.

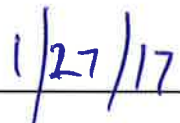
IN THE EVENT that DISTRICT herein shall abandon the use of said facilities as evidenced by Resolution of its Board of Directors, the easement and right-of-way herein granted shall revert to GRANTORS, their heirs, successors or assigns.

The Grant of Easement, and each of its covenants, shall run with the land and shall be binding on and shall inure to the benefit of each of the parties hereto and each of their heirs, legal representatives, successors, and assigns.


"OWNER(S)"



John P. Brichetto, Trustee
John and Jacqueline Brichetto
Revocable Trust dated May 7, 2008



Date



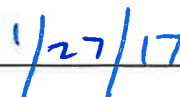
Jacqueline J. Brichetto, Trustee
John and Jacqueline Brichetto
Revocable Trust dated May 7, 2008



Date




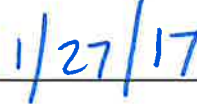
Joseph P. Brichetto, Owner



Date

SIGNATURES MUST BE NOTARIZED AND BE PER RECORDED DEED


John M. Brichetto, Owner


Date


Lee Ana L. Brichetto, Owner


Date

Mailing Address: P.O. Box 11600
Oakdale, CA, 95361

SIGNATURES MUST BE NOTARIZED AND BE PER RECORDED DEED

CERTIFICATE OF ACCEPTANCE AND CONSENT TO RECORDATION

This is to certify that the interest in real property conveyed by Grant of Easement dated

_____, 2017, from John P. Brichetto and Jacqueline J. Brichetto, trustees of the John and Jacqueline Brichetto 2008 Revocable Trust dated May 7, 2008, Joseph P. Brichetto, a single man, and John M. Brichetto and Lee Ana L. Brichetto, husband and wife as joint tenants to the Oakdale Irrigation District, an irrigation district organized and existing under the laws of the State of California, is hereby accepted by the undersigned officer or agent on behalf of the Board of Directors of the Oakdale Irrigation District pursuant to authority conferred by resolution of the Board of Directors of the Oakdale Irrigation District adopted on August 19th, 1997, and the Grantee consents to recordation thereof by its duly authorized officer.

OAKDALE IRRIGATION DISTRICT

Steve Knell, P.E.
General Manager/Secretary

Date

CERTIFICATE OF ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California
County of **Stanislaus**

On Jan 27, 2017 before me Carla Lillie, Notary Public,
personally appeared John M. Brichetto

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal

Carla Lillie

Signature

(Seal)



CERTIFICATE OF ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California
County of **Stanislaus**

On Jan 27, 2017 before me Carla Lillie, Notary Public,
personally appeared Joseph P. Brichetto

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal

Carla Lillie

Signature

(Seal)



CERTIFICATE OF ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California
County of **Stanislaus**

On Jan 27, 2017 before me Carla Lillie, Notary Public,
personally appeared John P. Brichetta

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal

Carla Lillie

Signature

(Seal)



CERTIFICATE OF ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California
County of **Stanislaus**

On Jan 30, 2017 before me Carla Lillie, Notary Public,
personally appeared Lee Ann L. Brichetta

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal

Carla Lillie

Signature

(Seal)



CERTIFICATE OF ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California
County of **Stanislaus**

On Feb. 1, 2017 before me Carla Lillie, Notary Public,
personally appeared Jacqueline J. Brichetto

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal

Carla Lillie

Signature

(Seal)



CERTIFICATE OF ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California
County of **Stanislaus**

On _____ before me _____, Notary Public,
personally appeared _____

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal

Signature

(Seal)

EXHIBIT "A"

LEGAL DESCRIPTION

30' O.I.D. PIPELINE EASEMENT

A 30.00 foot wide strip of land being a portion of the west half of the southeast quarter of the southeast quarter of Section 9, Township 3 South, Range 10 East, Mount Diablo Meridian, Stanislaus County, California, said strip being more particularly described as:

Commencing at the southeast corner of Section 9 as shown on that Map of the Albers Colony Tract filed for record in Book 8 of Maps at Page 23, Stanislaus County Records; thence along the south line of said Section 9 South 89°27'00" West 662.48 feet to the southeast corner of the west half of the southeast quarter of the southeast quarter of said Section 9; thence along the east line of said west half of the southeast quarter of the southeast quarter of Section 9 North 00°20'49" West 33.00 feet to a point on the north line of the 33.00 foot wide half-width of Milnes Road as shown on said Map of Albers Colony Tract, said point being the **Point of Beginning**; thence continuing along said east line North 00°20'49" West 1108.16 feet; thence leaving said east line South 89°39'11" West 30.00 feet; thence South 00°20'49" East 1078.26 feet; thence South 89°27'00" West 123.37 feet; thence South 00°33'00" East 30.00 feet to a point along said north line of the 33.00 foot wide half-width Milnes Road; thence along said north line North 89°27'00" East 153.27 feet to the **Point of Beginning**.

All as shown on attached Exhibit "B" and made a part hereof and containing 0.85 acres, more or less.

END DESCRIPTION



WEST HALF OF THE
SOUTHEAST QUARTER OF
THE SOUTHEAST QUARTER
OF SECTION 9



S89°39'11"W
30.00'

30' O.I.D. EASEMENT
0.85± ACRES

1078.26'
1108.16'
1141.16'

S00°20'49"E
N00°20'49"W

S00°33'00"E
30.00'

S89°27'00"W
123.37'

P.O.B.

S89°27'00"W

N89°27'00"E
153.27'

33'
66'
662.48'

S. 9

S. 10

S. 16

S. 15

MILNES ROAD

SE COR. OF THE W 1/2
OF THE SE 1/4 OF THE
SE 1/4 SECTION 9

P.O.C.
SE CORNER
SECTION 9

BENTLEY ROAD



GK Giuliani & Kull, Inc.
Engineers • Planners • Surveyors

440 S. Yosemite Avenue, Suite A, Oakdale, CA 95361
(209) 847-8726 Fax (209) 847-7323
Auburn • Oakdale • San Jose

SCALE: 1" = 200'

DRAWN: JRS

CHECKED: KSC

JOB NO.: 15155

SHEET: 02 OF 02

EXHIBIT "B"

30' O.I.D. PIPELINE EASEMENT
STANISLAUS COUNTY, CALIFORNIA

EXHIBIT "C"

LEGAL DESCRIPTION FOR SUBJECT PROPERTY

The West half of the Southeast quarter of the Southeast quarter of Section 9, Township 3 South, Range 10 East, Mount Diablo Base and Meridian, according to the United States Government Township Plats.

APN: 014-018-004

END OF DESCRIPTION

RECORDING REQUESTED BY &
WHEN RECORDED RETURN TO:



OAKDALE IRRIGATION DISTRICT
1205 East F Street
Oakdale, CA 95361

APNs: 014-018-004

**ENCROACHMENT PERMIT
ON THE ALBERS DRAIN**

THIS ENCROACHMENT PERMIT executed this SEVENTH day of FEBRUARY, 2017, by and between OAKDALE IRRIGATION DISTRICT, an irrigation district organized and existing under the laws of the State of California, hereinafter referred to as "DISTRICT," and JOHN P. BRICHETTO AND JACQUELINE J. BRICHETTO, TRUSTEES OF THE JOHN AND JACQUELINE BRICHETTO 2008 REVOCABLE TRUST DATED MAY 7, 2008, JOSEPH P. BRICHETTO, A SINGLE MAN, AND JOHN M. AND LEE ANA L. BRICHETTO, HUSBAND AND WIFE AS JOINT TENANTS, hereinafter referred to as "OWNER" sets forth Permits as follows:

WITNESSETH:

WHEREAS, the Board of Directors of the DISTRICT adopted the request for an Encroachment Permit on February 7, 2017, as shown in the Resolution attached hereto as **Exhibit "A."**

WHEREAS, DISTRICT occupies easements and fee-owned lands for its irrigation and drainage facilities, and

WHEREAS, OWNER'S property described in the attached **Exhibit "B"** (the "Subject Property") is subject to all or a portion of said easements, and

WHEREAS, OWNER has title to the Subject Property and wishes to encroach upon the ALBERS DRAIN right-of-way with encroachments as follows:

1. One (1) 8" 100 PSI PIP PVC private irrigation pipeline crossing.

WHEREAS, DISTRICT is willing to permit said encroachments provided the OWNER agrees to the following provisions:

1. Nature of Right Conferred. This Permit is valid only for the purposes specified herein, and neither the Permit, nor use there under shall create an easement, right-of-way, or other interest in real property owned by DISTRICT.

DISTRICT intends hereby to assent only to (a) an encroachment upon an

THIS PERMIT shall be a covenant binding upon both DISTRICT and OWNER.

IN WITNESS WHEREOF, DISTRICT and OWNER have caused their names to be affixed.

OAKDALE IRRIGATION DISTRICT
"DISTRICT"


Steve Webb, President
Board of Directors

Date

Steve Knell, P.E.
General Manager/Secretary

Date

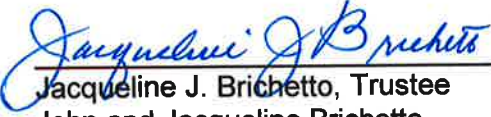
"OWNER"



John P. Brichetto, Trustee
John and Jacqueline Brichetto
Revocable Trust dated May 7, 2008

1/27/17

Date



Jacqueline J. Brichetto, Trustee
John and Jacqueline Brichetto
Revocable Trust dated May 7, 2008

2/1/2017

Date



Joseph P. Brichetto, Owner

1/27/17

Date



John M. Brichetto, Owner

~~1/27/16~~ 1/27/17

Date



Lee Ana L. Brichetto, Owner

1/30/17

Date

Mailing Address: P.O. Box 11600
Oakdale, CA, 95361

SIGNATURES MUST BE NOTARIZED AND BE PER RECORDED DEED

CERTIFICATE OF ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California
County of **Stanislaus**

On Jan 27, 2017 before me Carla Lillie, Notary Public,
personally appeared John M. Bricchetto
who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are
subscribed to the within instrument and acknowledged to me that he/she/they executed the same in
his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the
person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing
paragraph is true and correct.

WITNESS my hand and official seal

Carla Lillie
Signature

(Seal)



CERTIFICATE OF ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California
County of **Stanislaus**

On Jan 27, 2017 before me Carla Lillie, Notary Public,
personally appeared Joseph P. Bricchetto
who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are
subscribed to the within instrument and acknowledged to me that he/she/they executed the same in
his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the
person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing
paragraph is true and correct.

WITNESS my hand and official seal

Carla Lillie
Signature

(Seal)



CERTIFICATE OF ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California
County of **Stanislaus**

On Jan 27, 2017 before me Carla Lillie, Notary Public,
personally appeared John P. Bricchetto

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal

Carla Lillie

Signature

(Seal)



CERTIFICATE OF ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California
County of **Stanislaus**

On Jan 30, 2017 before me Carla Lillie, Notary Public,
personally appeared Lee Ann L. Bricchetto

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal

Carla Lillie

Signature

(Seal)



CERTIFICATE OF ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California
County of **Stanislaus**

On Feb 1, 2017 before me Carla Lillie, Notary Public,
personally appeared Jacqueline L. Brichetta
who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are
subscribed to the within instrument and acknowledged to me that he/she/they executed the same in
his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the
person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing
paragraph is true and correct.

WITNESS my hand and official seal

Carla Lillie
Signature

(Seal)



CERTIFICATE OF ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California
County of **Stanislaus**

On _____ before me _____, Notary Public,
personally appeared _____
who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are
subscribed to the within instrument and acknowledged to me that he/she/they executed the same in
his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the
person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing
paragraph is true and correct.

WITNESS my hand and official seal

Signature

(Seal)

EXHIBIT "A"

**OAKDALE IRRIGATION DISTRICT
RESOLUTION NO. 2017-NIL**

ENCROACHMENT PERMIT ON THE ALBERS DRAIN

APN: 014-018-004

WHEREAS, JOHN P. BRICHETTO AND JACQUELINE J. BRICHETTO, TRUSTEES OF THE JOHN AND JACQUELINE BRICHETTO 2008 REVOCABLE TRUST DATED MAY 7, 2008, JOSEPH P. BRICHETTO, A SINGLE MAN, AND JOHN M. AND LEE ANA L. BRICHETTO, HUSBAND AND WIFE AS JOINT TENANTS are the titled owners of the property located in the Southeast 1/4 of Section 9, Township 3 South, Range 10 East, Mount Diablo Base and Meridian, in the unincorporated area of Stanislaus County, California; and

WHEREAS, JOHN P. BRICHETTO AND JACQUELINE J. BRICHETTO, TRUSTEES OF THE JOHN AND JACQUELINE BRICHETTO 2008 REVOCABLE TRUST DATED MAY 7, 2008, JOSEPH P. BRICHETTO, A SINGLE MAN, AND JOHN M. AND LEE ANA L. BRICHETTO, HUSBAND AND WIFE AS JOINT TENANTS have requested an Encroachment Permit for:

1. One (1) 8" 100 PSI PIP PVC private irrigation pipeline crossing.

WHEREAS, the Encroachment Permit has been signed by the titled owners.

NOW THEREFORE BE IT RESOLVED, that the provisions contained in the Encroachment Permit of the above-identified land have been accepted by the titled owners of said property, is hereby accepted by the District, and that the President be and is hereby authorized and directed to have the same recorded on the records of Stanislaus County, and that said Encroachment Permit in its entirety is incorporated herein by reference to this Resolution.

Upon Motion of Director _____ seconded by Director _____, and duly submitted to the Board for its consideration, the above-titled Resolution was adopted this seventh day of February, 2017.

OAKDALE IRRIGATION DISTRICT

Steve Webb, President
Board of Directors

Steve Knell, P.E.
General Manager/Secretary

EXHIBIT "B"

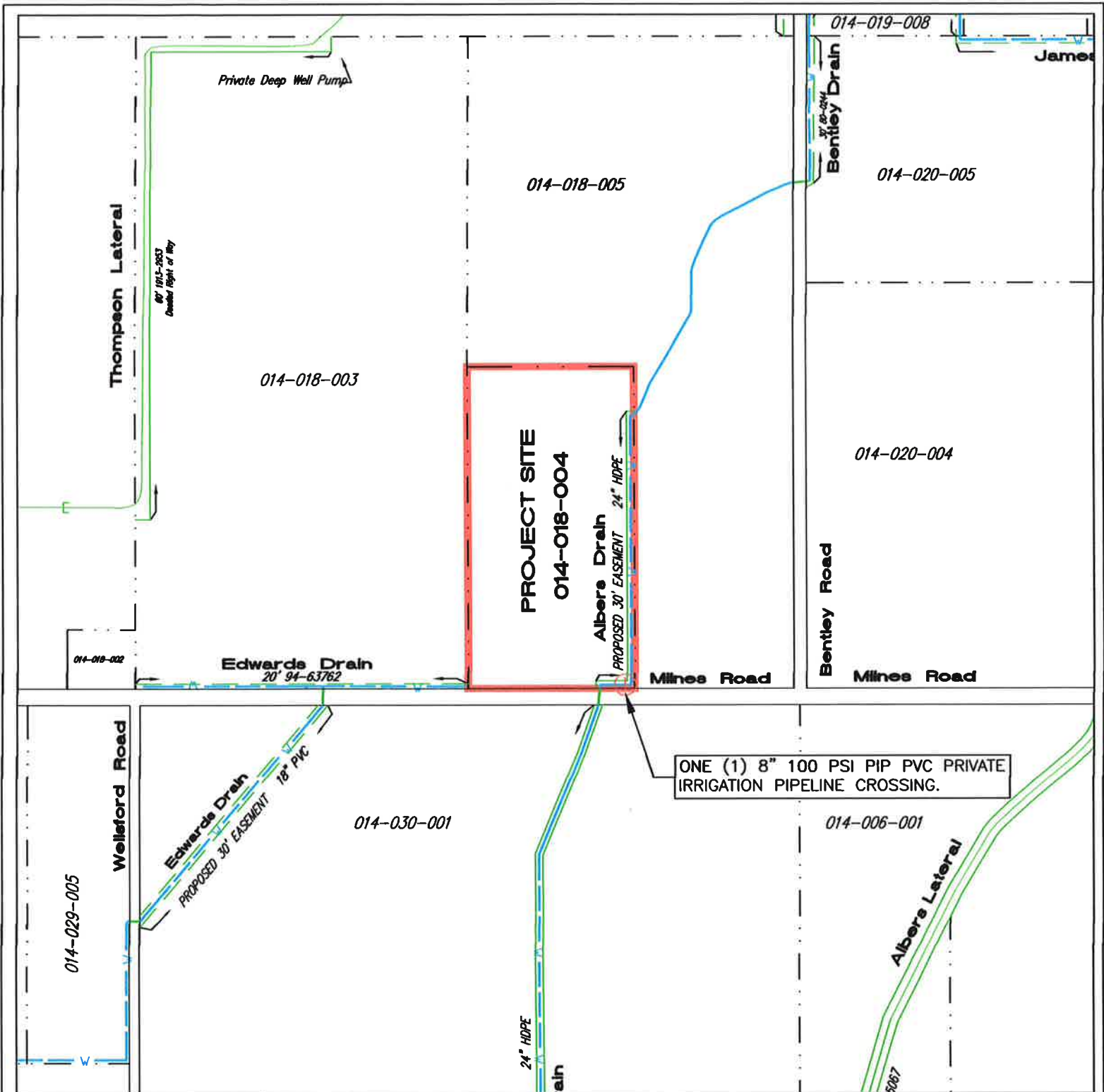
LEGAL DESCRIPTION FOR SUBJECT PROPERTY

The land referred to herein below is situated in the unincorporated area of the County of Stanislaus, State of California and is described as follows:

The West half of the Southeast quarter of the Southeast quarter of Section 9, Township 3 South, Range 10 East, Mount Diablo Base and Meridian, according to the United States Government Township Plats.

APN: 014-018-004

END OF DESCRIPTION



OAKDALE IRRIGATION DISTRICT
1205 EAST F STREET
OAKDALE CALIFORNIA 95361

PROJECT SITE MAP
ENCROACHMENT PERMIT
APN: 014-018-004



DATE: OCT. 10, 2016
DRAWN BY: CMK
CHECKED BY: ECT

EXHIBIT "C"

NOT TO SCALE
SHEET 1 of 1

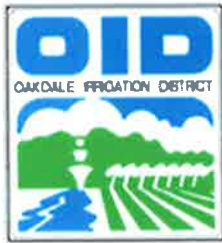
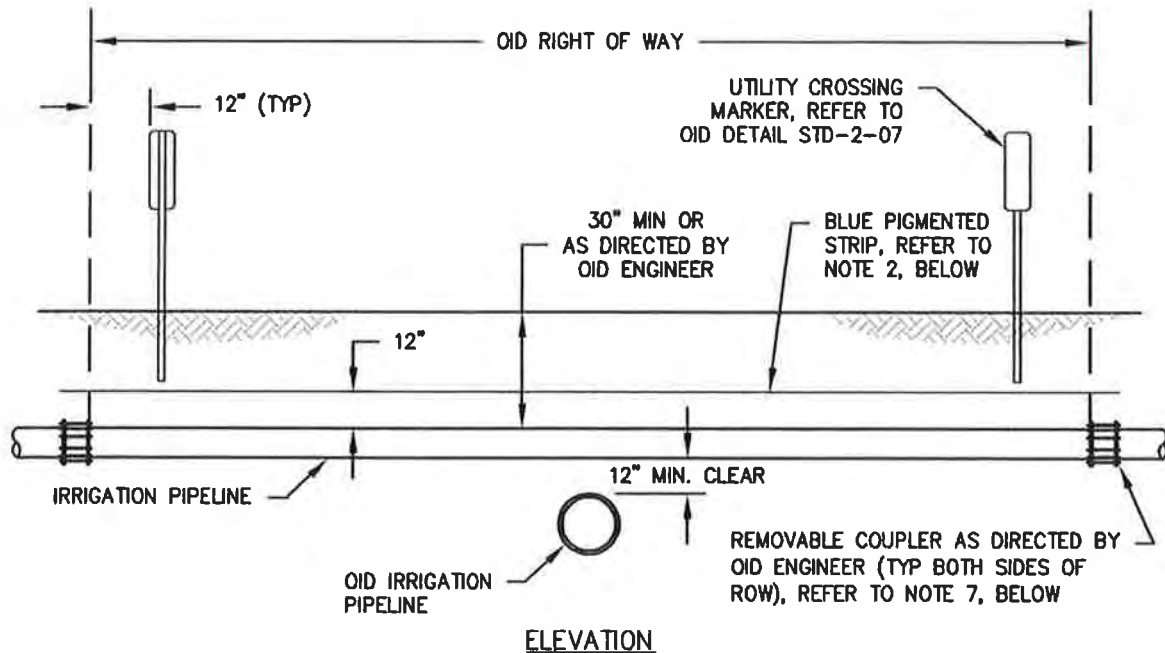



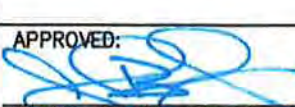
EXHIBIT D

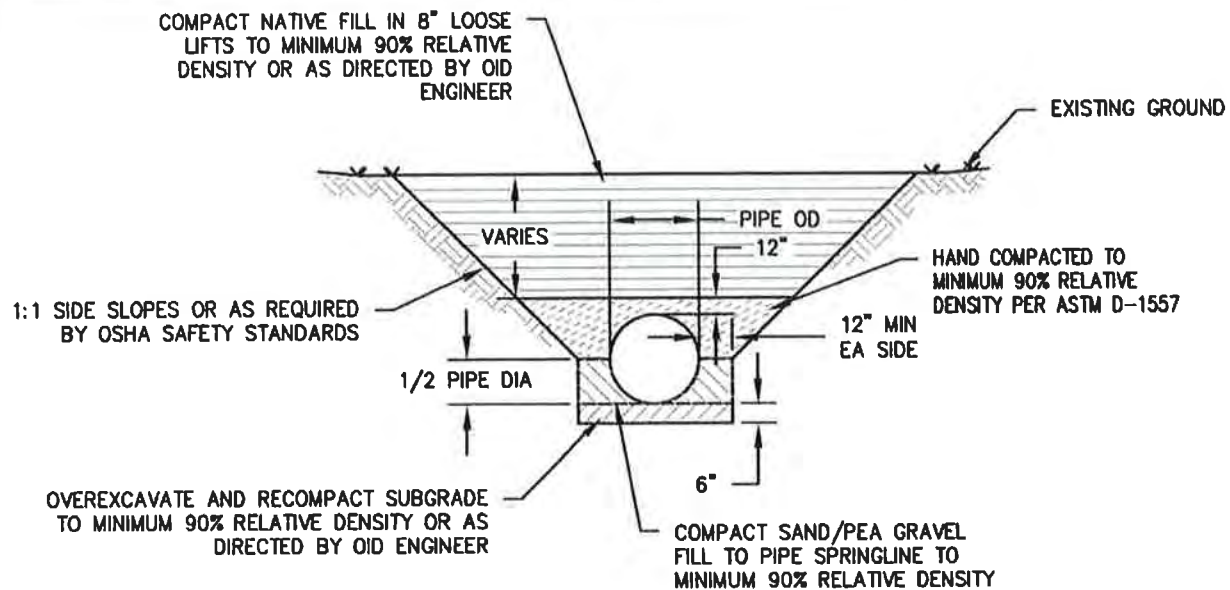
**OID STANDARD DETAILS: STD-2-05, STD-5-01
THREE (3) PAGES TOTAL, INCLUDING COVER SHEET**



CONSTRUCTION NOTES


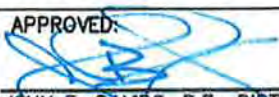
1. MINIMUM DEPTHS SHOWN ARE REQUIRED WITHIN OID PROPERTY OR AN OID EXCLUSIVE EASEMENT. WHEN MINIMUM DEPTH AND CLEARANCES CANNOT BE MAINTAINED, BORING UNDER OID PIPELINE SHALL BE REQUIRED IN ACCORDANCE WITH OID DETAIL STD-2-04. IN NON-OID RIGHTS OF WAY, MINIMUM COVER SHALL BE DETERMINED BY THE CONTROLLING AGENCY (MINIMUM CLEARANCES SHALL REMAIN IN EFFECT).
2. WHERE DEPTH OF AN OID PIPELINE IS UNKNOWN, IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE THE PIPELINE. ONLY HAND AUGURING SHALL BE PERMITTED.
3. THIS STANDARD APPLIES TO IRRIGATION WATER PIPELINE CROSSINGS ONLY. WHEN CARRIER PIPE TRANSPORTS SEWAGE OR TOXIC SUBSTANCES, OID DETAIL STD-2-06 SHALL BE USED. THE OID ENGINEER RESERVES THE RIGHT TO DETERMINE THE APPLICATION OF THIS STANDARD.
4. FOR IRRIGATION PIPELINES, PROVIDE BLUE PIGMENTED WARNING STRIP PLACED ALONG THE CENTER AND 12 INCHES ABOVE THE TOP OF ANY PIPE, WITHIN OID RIGHT OF WAY.
5. UTILITY CROSSING MARKERS SHALL BE PLACED AS SHOWN ON OID DETAIL STD-2-07, UTILITY CROSSING MARKER.
6. CLEARANCES AND MINIMUM DIMENSIONS AS SHOWN MEASURED FROM THE WIDEST POINT ON THE PIPE SUCH AS BELLS OR COUPLERS.
7. IF PIPE CHANGES SIZE OR MATERIAL UPON LEAVING OID RIGHT OF WAY, A REMOVABLE COUPLER SHALL BE INSTALLED. REMOVABLE COUPLER SHALL BE STEEL BODY GASKETED SLEEVE TYPE, DRESSER STYLE 38, OR APPROVED EQUIVALENT. ALL NUTS, BOLTS, AND WASHERS USED TO SECURE UNDERGROUND FITTINGS SHALL BE STAINLESS STEEL. AFTER INSTALLATION, ALL HARDWARE SHALL BE COATED WITH A RUST PREVENTATIVE, WRAPPED WITH 4 MIL POLYETHYLENE SHEETING, AND SECURED WITH PVC TAPE.
8. IRRIGATION PIPELINE SHALL BE SEAMLESS WELDED STEEL PIPE (MINIMUM GAUGE 10, 0.135 INCH WALL THICKNESS), DUCTILE IRON (MINIMUM DIP CLASS 50), OR POLYVINYL CHLORIDE 100 PSI PIPE THROUGH THE ENTIRE OID RIGHT OF WAY. STEEL OR DIP PIPE SHALL BE COATED WITH 2 COATS OF BITUMINOUS MATERIAL WHERE BURIED. BITUMINOUS COATING SHALL BE ALLOWED TO DRY BEFORE BACKFILL. ALL JOINTS SHALL BE WATER TIGHT.
9. BACKFILL AND SUBGRADES SHALL BE COMPACTED TO MINIMUM 90% RELATIVE DENSITY PER ASTM D-1557, AND SHALL BE MANUALLY COMPACTED A MINIMUM DEPTH OF 12 INCHES OVER TOP OF PIPE OR AS DIRECTED BY OID ENGINEER. THE MAXIMUM LAYER THICKNESS SHALL BE 8 INCHES BEFORE COMPACTION. REFER TO OID DETAIL STD-5-01, TYPICAL PIPE TRENCH.
10. PIPE SHALL NOT BE ENCASED IN CONCRETE SLURRY UNLESS DIRECTED BY OID ENGINEER.

| | | | | |
|---|--|--|---|---|
|  | OAKDALE IRRIGATION DISTRICT | | IRRIGATION PIPELINE CROSSING OVER OID PIPELINE | |
| | APPROVED: | | SCALE: | NOT TO SCALE |
| |  JOHN B. DAVIDS, P.E., DISTRICT ENGINEER | | DATE: | JANUARY 2012 |
| | | | | STANDARD DETAIL STD-2-05 SHEET 1 OF 1 |



CONSTRUCTION NOTES

1. BACKFILL AND SUBGRADES SHALL BE COMPACTED TO MINIMUM 90% RELATIVE DENSITY PER ASTM D-1557 AND SHALL BE MANUALLY COMPACTED A MINIMUM DEPTH OF 12 INCHES OVER TOP OF PIPE OR AS DIRECTED BY OID ENGINEER. THE MAXIMUM LAYER THICKNESS SHALL BE 8 INCHES BEFORE COMPACTION.
2. BACKFILL SHALL BE SELECT NATIVE MATERIAL, CONTAIN NO MATERIAL OVER 3 INCHES IN DIAMETER OR LENGTH, AND SHALL BE COMPACTED AGAINST UNDISTURBED EARTH. FILL MATERIAL SHALL CONTAIN NO SOD, BRUSH, ROOTS, OR OTHER ORGANIC OR OTHERWISE UNSUITABLE MATERIAL.
3. PIPELINE SHALL BE INSTALLED ACCORDING TO MANUFACTURER INSTRUCTIONS AND SPECIFICATIONS. MINIMUM DEPTH OF COVER SHALL BE 30 INCHES OR AS DIRECTED BY OID ENGINEER.
4. COMPACTION TESTS SHALL BE AT THE LANDOWNER OR DEVELOPER EXPENSE. ANY RETESTS SHALL BE PAID BY THE CONTRACTOR. FREQUENCY AND LOCATION OF THE TESTS SHALL BE AS DIRECTED BY OID ENGINEER.
5. DEWATERING DUE TO HIGH GROUNDWATER OR CANAL SEEPAGE MAY BE REQUIRED. DEWATERING METHODS SHALL BE PRE-APPROVED BY OID ENGINEER PRIOR TO COMMENCEMENT OF DEWATERING.
6. TRENCH WIDTHS SHALL BE AS SHOWN UNLESS THE PIPELINE SIZE IS 4 INCHES OR SMALLER, WHERE THE TRENCH SHALL HAVE A 12 INCH MINIMUM WIDTH.
7. BEDDING, IF REQUIRED SHALL BE MINIMUM 4 INCHES AS DIRECTED BY OID ENGINEER. BEDDING SHALL CONFORM TO THE SPECIFICATIONS BELOW. SOIL TYPES SHALL BE AS DETERMINED BY OID ENGINEER.
 - A. ON SANDY SOIL (BEDDING & HAUNCHING):
NATIVE MATERIAL, IF SUITABLE, OR SAND AS DIRECTED BY OID ENGINEER
 - B. ON CLAY SOIL (BEDDING & HAUNCHING):
SAND OR APPROVED NATIVE MATERIAL AS PRE-APPROVED BY OID ENGINEER SHALL BE PLACED IN 8 INCH LIFTS
8. WATER PACKING OR JETTING SHALL ONLY BE USED ON SOILS PRE-APPROVED BY OID ENGINEER. WHEN WATER PACKING OR JETTING IS USED, THE AMOUNT OF WATER SHALL BE CONTROLLED TO INSURE THAT POOLING OF EXCESS WATER DOES NOT OCCUR. THE WETTED FILL MUST BE ALLOWED TO REACH OPTIMUM MOISTURE AND THEN MECHANICALLY COMPACTED TO MEET MINIMUM 90% RELATIVE DENSITY PER ASTM D-1557 BEFORE ADDITIONAL BACKFILLING IS DONE. CARE MUST BE EXERCISED TO PREVENT PIPE FLOTATION DURING WATER PACKING OR JETTING. MEASURES MUST BE PRE-APPROVED BY OID ENGINEER. THIS ITEM DOES NOT APPLY TO PVC OR HDPE PIPELINES.

| | | | | |
|---|---|--|---------------------|---|
|  | OAKDALE IRRIGATION DISTRICT | | TYPICAL PIPE TRENCH | |
| | APPROVED:  | | SCALE: NOT TO SCALE | STANDARD DETAIL STD-5-01 SHEET 1 OF 1 |
| | JOHN B. DAVIDS, P.E., DISTRICT ENGINEER | | DATE: JANUARY 2012 | |

BOARD AGENDA REPORT

Date: February 7, 2017
Item Number: 16
APN: 014-006-001/002

SUBJECT: APPROVE ENCROACHMENT PERMITS ON THE ALBERS LATERAL (APN: 014-006-001/002 – THE JOHN AND JACQUELINE BRICHETTO 2008 REVOCABLE TRUST DATED MAY 7, 2008, JOSEPH P. BRICHETTO, JOHN M. BRICHETTO AND LEE ANA L. BRICHETTO)

RECOMMENDED ACTION: Approve

BACKGROUND AND/OR HISTORY:

A microirrigation system has been installed on the parcels noted above and a request to encroach upon the Albers Lateral was received. As part of the proposed agreement, one (1) 8" 100 PSI PIP PVC private irrigation pipeline will encroach upon and cross the lateral on each parcel. The centerline of the Albers Lateral is described as a shared property line for the parcels noted above, and as such, an Encroachment Permit has been prepared for one (1) private irrigation pipeline crossing for each parcel. OID staff has reviewed the project and recommends approval of the Encroachment Permits.

FISCAL IMPACT: A Structure Review Application fee has been collected to cover all District costs.

ATTACHMENTS:

- Encroachment Permits (2)
-

Board Motion:

Motion by: _____ **Second by:** _____

VOTE

Webb (Yes/No) Doornenbal (Yes/No) Osmundson (Yes/No) Altieri (Yes/No) Santos (Yes/No)

Action(s) to be taken:

RECORDING REQUESTED BY &
WHEN RECORDED RETURN TO:



OAKDALE IRRIGATION DISTRICT
1205 East F Street
Oakdale, CA 95361

APNs: 014-006-001

**ENCROACHMENT PERMIT
ON THE ALBERS LATERAL**

THIS ENCROACHMENT PERMIT executed this SEVENTH day of FEBRUARY, 2017, by and between OAKDALE IRRIGATION DISTRICT, an irrigation district organized and existing under the laws of the State of California, hereinafter referred to as "DISTRICT," and JOHN P. BRICHETTO AND JACQUELINE J. BRICHETTO, TRUSTEES OF THE JOHN AND JACQUELINE BRICHETTO 2008 REVOCABLE TRUST DATED MAY 7, 2008, JOSEPH P. BRICHETTO, A SINGLE MAN, AND JOHN M. AND LEE ANA L. BRICHETTO, HUSBAND AND WIFE AS JOINT TENANTS, hereinafter referred to as "OWNER" sets forth Permits as follows:

WITNESSETH:

WHEREAS, the Board of Directors of the DISTRICT adopted the request for an Encroachment Permit on February 7, 2017, as shown in the Resolution attached hereto as **Exhibit "A."**

WHEREAS, DISTRICT occupies easements and fee-owned lands for its irrigation and drainage facilities, and

WHEREAS, OWNER'S property described in the attached **Exhibit "B"** (the "Subject Property") is subject to all or a portion of said easements, and

WHEREAS, OWNER has title to the Subject Property and wishes to encroach upon the ALBERS LATERAL right-of-way with encroachments as follows:

1. One (1) 8" 100 PSI PIP PVC private irrigation pipeline crossing.

WHEREAS, DISTRICT is willing to permit said encroachments provided the OWNER agrees to the following provisions:

1. Nature of Right Conferred. This Permit is valid only for the purposes specified herein, and neither the Permit, nor use there under shall create an easement, right-of-way, or other interest in real property owned by DISTRICT.

DISTRICT intends hereby to assent only to (a) an encroachment upon an

THIS PERMIT shall be a covenant binding upon both DISTRICT and OWNER.

IN WITNESS WHEREOF, DISTRICT and OWNER have caused their names to be affixed.

OAKDALE IRRIGATION DISTRICT
"DISTRICT"

Steve Webb, President
Board of Directors

Date

Steve Knell, P.E.
General Manager/Secretary

Date

"OWNER"



John P. Brichetto, Trustee
John and Jacqueline Brichetto
Revocable Trust dated May 7, 2008

1/27/17

Date



Jacqueline J. Brichetto, Trustee
John and Jacqueline Brichetto
Revocable Trust dated May 7, 2008

2/1/2017

Date



Joseph P. Brichetto, Owner

1/27/17

Date



John M. Brichetto, Owner

1/27/17

Date



Lee Ana L. Brichetto, Owner

1/30/17

Date

Mailing Address: P.O. Box 11600
Oakdale, CA, 95361

SIGNATURES MUST BE NOTARIZED AND BE PER RECORDED DEED

CERTIFICATE OF ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California
County of Stanislaus

On Jan. 27, 2017 before me Carla Lillie, Notary Public,
personally appeared John M. Brichetto

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

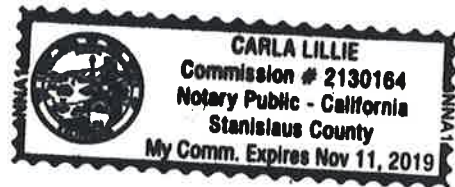
I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal

Carla Lillie

Signature

(Seal)



CERTIFICATE OF ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California
County of Stanislaus

On Jan 27, 2017 before me Carla Lillie, Notary Public,
personally appeared Joseph P. Brichetto

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal

Carla Lillie

Signature

(Seal)



CERTIFICATE OF ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California
County of **Stanislaus**

On Jan 27, 2017 before me Carla Lillie, Notary Public,
personally appeared John P. Brichetto

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal

Carla Lillie

Signature

(Seal)



CERTIFICATE OF ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California
County of **Stanislaus**

On Jan 30, 2017 before me Carla Lillie, Notary Public,
personally appeared John P. Brichetto

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal

Carla Lillie

Signature

(Seal)



CERTIFICATE OF ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California
County of **Stanislaus**

On Feb 1, 2017 before me Carla Lillie, Notary Public,
personally appeared Jacqueline S. Brichetto
who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are
subscribed to the within instrument and acknowledged to me that he/she/they executed the same in
his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the
person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing
paragraph is true and correct.

WITNESS my hand and official seal

Carla Lillie
Signature

(Seal)



CERTIFICATE OF ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California
County of **Stanislaus**

On _____ before me _____, Notary Public,
personally appeared _____
who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are
subscribed to the within instrument and acknowledged to me that he/she/they executed the same in
his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the
person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing
paragraph is true and correct.

WITNESS my hand and official seal

Signature

(Seal)

EXHIBIT "A"

**OAKDALE IRRIGATION DISTRICT
RESOLUTION NO. 2017-NIL**

ENCROACHMENT PERMIT ON THE ALBERS LATERAL

APN: 014-006-001

WHEREAS, JOHN P. BRICHETTO AND JACQUELINE J. BRICHETTO, TRUSTEES OF THE JOHN AND JACQUELINE BRICHETTO 2008 REVOCABLE TRUST DATED MAY 7, 2008, JOSEPH P. BRICHETTO, A SINGLE MAN, AND JOHN M. AND LEE ANA L. BRICHETTO, HUSBAND AND WIFE AS JOINT TENANTS are the titled owners of the property located in the Northwest 1/4 of Section 15, Township 3 South, Range 10 East, Mount Diablo Base and Meridian, in the unincorporated area of Stanislaus County, California; and

WHEREAS, JOHN P. BRICHETTO AND JACQUELINE J. BRICHETTO, TRUSTEES OF THE JOHN AND JACQUELINE BRICHETTO 2008 REVOCABLE TRUST DATED MAY 7, 2008, JOSEPH P. BRICHETTO, A SINGLE MAN, AND JOHN M. AND LEE ANA L. BRICHETTO, HUSBAND AND WIFE AS JOINT TENANTS have requested an Encroachment Permit for:

1. One (1) 8" 100 PSI PIP PVC private irrigation pipeline crossing.

WHEREAS, the Encroachment Permit has been signed by the titled owners.

NOW THEREFORE BE IT RESOLVED, that the provisions contained in the Encroachment Permit of the above-identified land have been accepted by the titled owners of said property, is hereby accepted by the District, and that the President be and is hereby authorized and directed to have the same recorded on the records of Stanislaus County, and that said Encroachment Permit in its entirety is incorporated herein by reference to this Resolution.

Upon Motion of Director _____, seconded by Director _____, and duly submitted to the Board for its consideration, the above-titled Resolution was adopted this seventh day of February, 2017.

OAKDALE IRRIGATION DISTRICT

Steve Webb, President
Board of Directors

Steve Knell, P.E.
General Manager/Secretary

EXHIBIT "B"

LEGAL DESCRIPTION FOR SUBJECT PROPERTY

The land referred to herein below is situated in the unincorporated area of the County of Stanislaus, State of California and is described as follows:

Parcel One:

A portion of Lots 7, 8, 15, 22, 25, 26, 10, 11, 13, 14, and 23 and all of Lot 9 of Albers Colony Tract, according to the Official Map thereof filed for record September 29, 1914 in Book 8 of Maps, Page 23, Stanislaus County Records, described as follows:

Beginning at the corner common to Sections 9, 10, 15, and 16, Township 3 South, Range 10 East, Mount Diablo Base and Meridian; thence North 89° 48' East along the line common to said Sections 10 and 15, 18.778 chains to a point in the center line of Oakdale Irrigation District's Albers Lateral; thence along the center line of said lateral the courses and distances:

South 10° 21 1/2' West 1.6164 chains;

South 26° 12' West 1.2320 chains;

South 47° 04' West 8.2192 chains;

South 30° 19 1/2' West 5.1333 chains;

thence leaving the center line of said lateral and running South 0° 12' West 32.2305 chains to a point; thence North 80° 32' West 4.6954 chains to a point; thence North 78° 45' West 13.8758 chains to a point in the center line of the above mentioned Albers Lateral; thence along the center line of said lateral South 69° 52' West 6.7877 chains; thence leaving the center line of said lateral and running North 17° 27' West 0.0667 chains to an iron pipe at the Southeasterly corner of the Easterly boundary of said parcel of land conveyed to E. K. Finney by Deed recorded in Book 672, Page 446, of Official Records; thence along the Easterly boundary of said parcel of land so conveyed the following courses and distances:

North 17° 21 1/2' West 1.6164 chains;

North 6° 38' West 0.516 chains;

North 23° 02' East 25.366 chains to a point in the line common to Sections 9 and 16, above Township and Range;

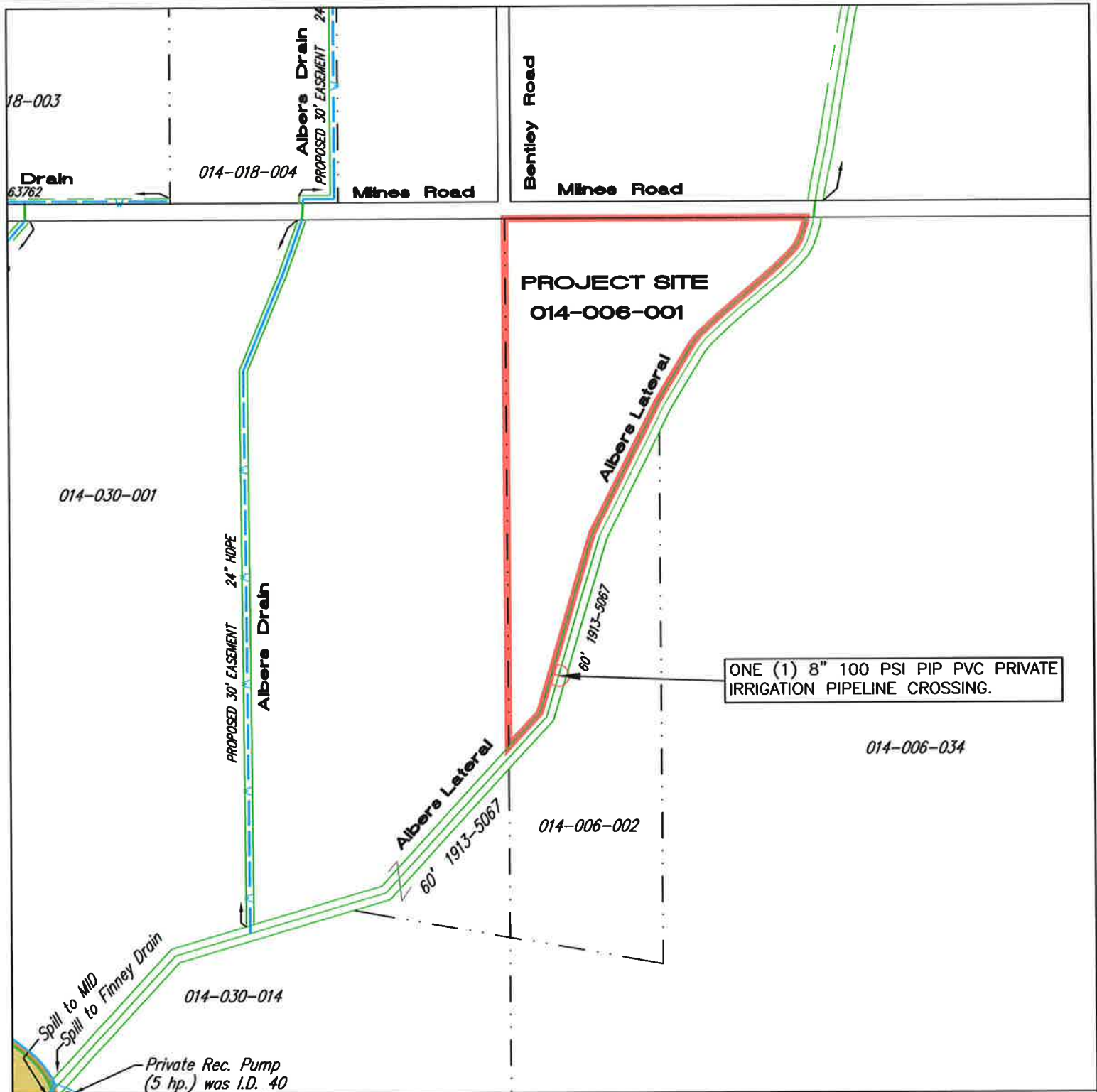
thence along said common section line North 89° 46' East 11.763 chains to the point of beginning.

Except therefrom all that portion lying within the right-of-way of the Oakdale Irrigation District's Albers Lateral.

APN: 014-006-001 and 002

APN: 014-030-001 (portion)

END OF DESCRIPTION



OAKDALE IRRIGATION DISTRICT
 1205 EAST F STREET
 OAKDALE CALIFORNIA 95361

PROJECT SITE MAP
ENCROACHMENT PERMIT
 APN: 014-006-001



DATE: OCT. 10, 2016
 DRAWN BY: CMK
 CHECKED BY: ECT

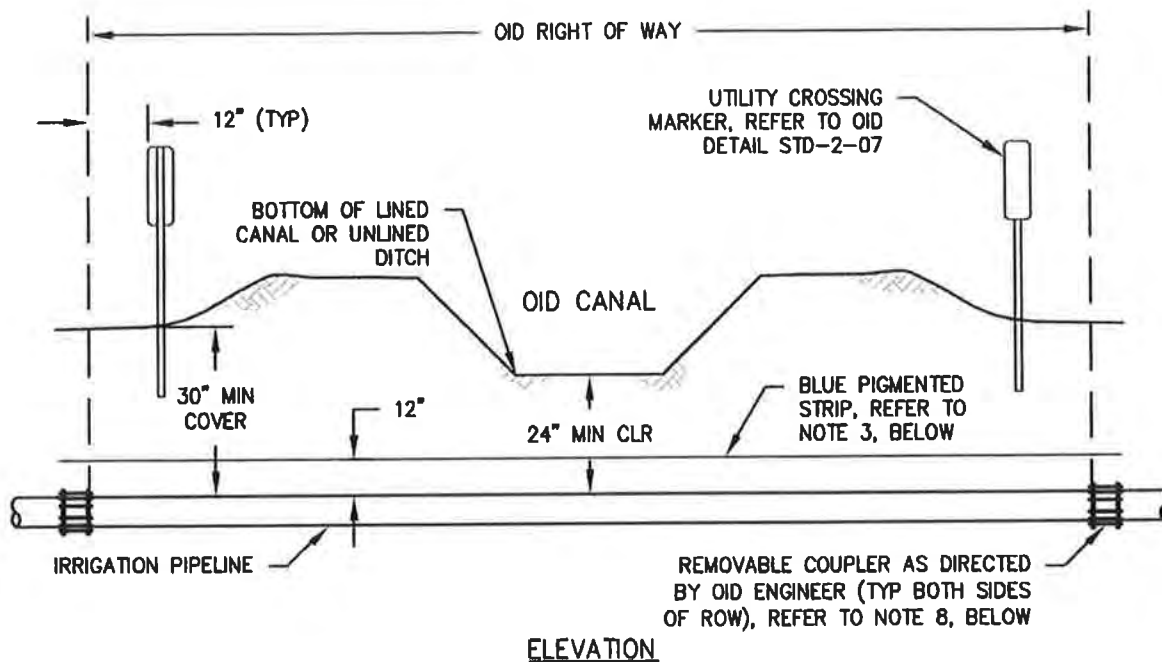
EXHIBIT "C"

NOT TO SCALE
SHEET 1 of 1





EXHIBIT D

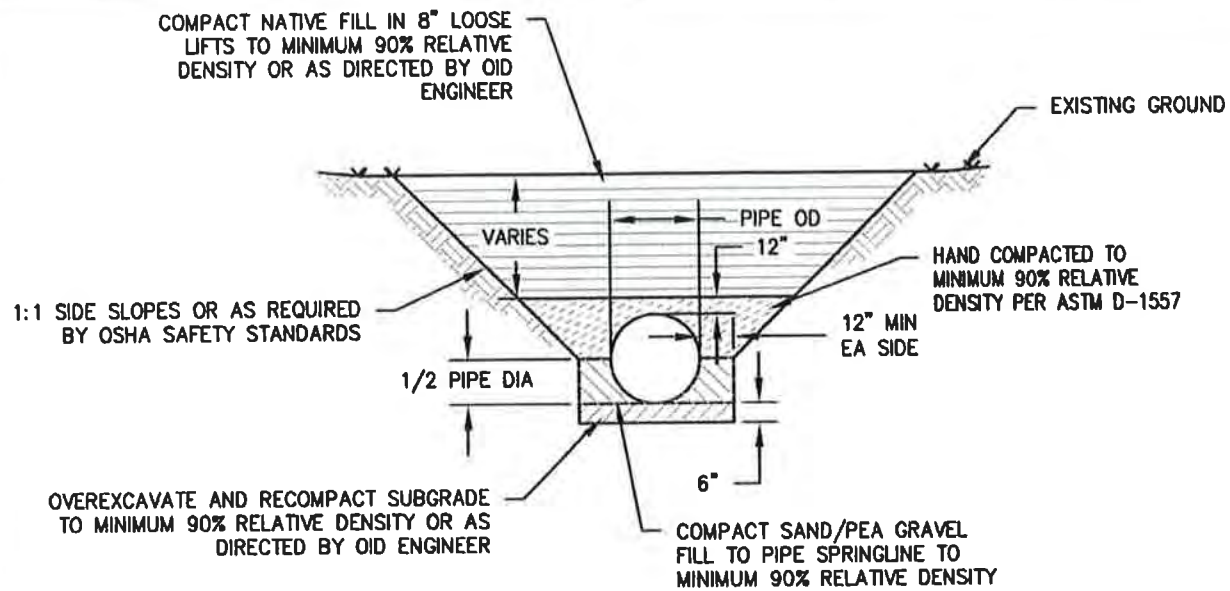
**OID STANDARD DETAILS: STD-2-01, STD-5-01
THREE (3) PAGES TOTAL, INCLUDING COVER SHEET**



CONSTRUCTION NOTES



1. THIS STANDARD APPLIES TO OPEN CUT CANAL SECTIONS AND IRRIGATION WATER PIPELINE CROSSINGS ONLY. THE OID ENGINEER RESERVES THE RIGHT TO DETERMINE THE APPLICATION OF THIS STANDARD.
2. THIS DRAWING IS INTENDED TO SHOW THE PIPELINE CANAL CROSSING DETAILS ONLY. ADDITIONAL VALVES AND APPURTENANCES MAY BE REQUIRED FOR PROPER SYSTEM DESIGN.
3. FOR IRRIGATION PIPELINES, PROVIDE A BLUE PIGMENTED WARNING STRIP PLACED ALONG THE CENTER AND 12 INCHES ABOVE THE TOP OF ANY PIPE.
4. IRRIGATION PIPELINE SHALL BE SEAMLESS WELDED STEEL PIPE (MINIMUM GAUGE 10, 0.135 INCH WALL THICKNESS), DUCTILE IRON (MINIMUM DIP CLASS 50), OR POLYVINYL CHLORIDE 100 PSI PIP THROUGH THE ENTIRE OID RIGHT OF WAY. STEEL OR DIP PIPE SHALL BE COATED WITH 2 COATS OF BITUMINOUS MATERIAL WHERE BURIED. BITUMINOUS COATING SHALL BE ALLOWED TO DRY BEFORE BACKFILL. ALL JOINTS SHALL BE WATER TIGHT.
5. PIPE SHALL HAVE MINIMUM 30 INCHES OF COVER OVER TOP OF PIPE THROUGH CANAL BANKS AND OID RIGHT OF WAY AND MINIMUM 24 INCHES OF COVER UNDER CANAL INVERTS. IF PIPE IS ENCASED, CASING SHALL BE MINIMUM 10 GAUGE, WELDED STEEL PIPE.
6. BACKFILL AND SUBGRADES SHALL BE COMPACTED TO MINIMUM 90% RELATIVE DENSITY PER ASTM D-1557, AND SHALL BE MANUALLY COMPACTED A MINIMUM DEPTH OF 12 INCHES OVER TOP OF PIPE OR AS DIRECTED BY OID ENGINEER. THE MAXIMUM LAYER THICKNESS SHALL BE 8 INCHES BEFORE COMPACTION. REFER TO OID DETAIL STD-5-01, TYPICAL PIPE TRENCH.
7. PIPE SHALL NOT BE ENCASED IN CONCRETE SLURRY UNLESS DIRECTED BY OID ENGINEER.
8. IF PIPE CHANGES SIZE OR MATERIAL UPON LEAVING OID RIGHT OF WAY, A REMOVABLE COUPLER SHALL BE INSTALLED. REMOVABLE COUPLER SHALL BE STEEL BODY GASKETED SLEEVE TYPE, DRESSER STYLE 38, OR APPROVED EQUIVALENT. ALL NUTS, BOLTS, AND WASHERS USED TO SECURE UNDERGROUND FITTINGS SHALL BE STAINLESS STEEL. AFTER INSTALLATION, ALL HARDWARE SHALL BE COATED WITH A RUST PREVENTATIVE, WRAPPED WITH 4 MIL POLYETHYLENE SHEETING, AND SECURED WITH PVC TAPE.
9. FOR CONCRETE LINED CANALS, CONCRETE LINING SHALL BE SAW CUT AT CONTROL JOINTS ON EITHER SIDE OF PROPOSED PIPELINE ALIGNMENT AND LINING SHALL BE REMOVED PRIOR TO OPEN CUTTING CANAL. FOR REPLACEMENT OF CONCRETE LINING, REFER TO OID DETAIL STD-1-05 FOR COMPACTION AND LINING REQUIREMENTS.

| | | | | |
|---|---|--|---|---|
|  | OAKDALE IRRIGATION DISTRICT | | IRRIGATION PIPELINE CROSSING UNDER OID CANAL | |
| | APPROVED:  | | SCALE: NOT TO SCALE | STANDARD DETAIL STD-2-01 SHEET 1 OF 1 |
| | JOHN B. DAVIDS, P.E., DISTRICT ENGINEER | | DATE: JANUARY 2012 | |



CONSTRUCTION NOTES

1. BACKFILL AND SUBGRADES SHALL BE COMPACTED TO MINIMUM 90% RELATIVE DENSITY PER ASTM D-1557 AND SHALL BE MANUALLY COMPACTED A MINIMUM DEPTH OF 12 INCHES OVER TOP OF PIPE OR AS DIRECTED BY OID ENGINEER. THE MAXIMUM LAYER THICKNESS SHALL BE 8 INCHES BEFORE COMPACTION.
2. BACKFILL SHALL BE SELECT NATIVE MATERIAL, CONTAIN NO MATERIAL OVER 3 INCHES IN DIAMETER OR LENGTH, AND SHALL BE COMPACTED AGAINST UNDISTURBED EARTH. FILL MATERIAL SHALL CONTAIN NO SOD, BRUSH, ROOTS, OR OTHER ORGANIC OR OTHERWISE UNSUITABLE MATERIAL.
3. PIPELINE SHALL BE INSTALLED ACCORDING TO MANUFACTURER INSTRUCTIONS AND SPECIFICATIONS. MINIMUM DEPTH OF COVER SHALL BE 30 INCHES OR AS DIRECTED BY OID ENGINEER.
4. COMPACTION TESTS SHALL BE AT THE LANDOWNER OR DEVELOPER EXPENSE. ANY RETESTS SHALL BE PAID BY THE CONTRACTOR. FREQUENCY AND LOCATION OF THE TESTS SHALL BE AS DIRECTED BY OID ENGINEER.
5. DEWATERING DUE TO HIGH GROUNDWATER OR CANAL SEEPAGE MAY BE REQUIRED. DEWATERING METHODS SHALL BE PRE-APPROVED BY OID ENGINEER PRIOR TO COMMENCEMENT OF DEWATERING.
6. TRENCH WIDTHS SHALL BE AS SHOWN UNLESS THE PIPELINE SIZE IS 4 INCHES OR SMALLER, WHERE THE TRENCH SHALL HAVE A 12 INCH MINIMUM WIDTH.
7. BEDDING, IF REQUIRED SHALL BE MINIMUM 4 INCHES AS DIRECTED BY OID ENGINEER. BEDDING SHALL CONFORM TO THE SPECIFICATIONS BELOW. SOIL TYPES SHALL BE AS DETERMINED BY OID ENGINEER.
 - A. ON SANDY SOIL (BEDDING & HAUNCHING):
NATIVE MATERIAL, IF SUITABLE, OR SAND AS DIRECTED BY OID ENGINEER
 - B. ON CLAY SOIL (BEDDING & HAUNCHING):
SAND OR APPROVED NATIVE MATERIAL AS PRE-APPROVED BY OID ENGINEER SHALL BE PLACED IN 8 INCH LIFTS
8. WATER PACKING OR JETTING SHALL ONLY BE USED ON SOILS PRE-APPROVED BY OID ENGINEER. WHEN WATER PACKING OR JETTING IS USED, THE AMOUNT OF WATER SHALL BE CONTROLLED TO INSURE THAT POOLING OF EXCESS WATER DOES NOT OCCUR. THE WETTED FILL MUST BE ALLOWED TO REACH OPTIMUM MOISTURE AND THEN MECHANICALLY COMPACTED TO MEET MINIMUM 90% RELATIVE DENSITY PER ASTM D-1557 BEFORE ADDITIONAL BACKFILLING IS DONE. CARE MUST BE EXERCISED TO PREVENT PIPE FLOTATION DURING WATER PACKING OR JETTING. MEASURES MUST BE PRE-APPROVED BY OID ENGINEER. THIS ITEM DOES NOT APPLY TO PVC OR HDPE PIPELINES.

| | | | | |
|---|---|--|---------------------|---|
|  | OAKDALE IRRIGATION DISTRICT | | TYPICAL PIPE TRENCH | |
| | APPROVED:  | | SCALE: NOT TO SCALE | STANDARD DETAIL STD-5-01 SHEET 1 OF 1 |
| | JOHN B. DAVIDS, P.E., DISTRICT ENGINEER | | DATE: JANUARY 2012 | |

RECORDING REQUESTED BY &
WHEN RECORDED RETURN TO:



OAKDALE IRRIGATION DISTRICT
1205 East F Street
Oakdale, CA 95361

APNs: 014-006-002

**ENCROACHMENT PERMIT
ON THE ALBERS LATERAL**

THIS ENCROACHMENT PERMIT executed this SEVENTH day of FEBRUARY, 2017, by and between OAKDALE IRRIGATION DISTRICT, an irrigation district organized and existing under the laws of the State of California, hereinafter referred to as "DISTRICT," and JOHN P. BRICHETTO AND JACQUELINE J. BRICHETTO, TRUSTEES OF THE JOHN AND JACQUELINE BRICHETTO 2008 REVOCABLE TRUST DATED MAY 7, 2008, JOSEPH P. BRICHETTO, A SINGLE MAN, AND JOHN M. AND LEE ANA L. BRICHETTO, HUSBAND AND WIFE AS JOINT TENANTS, hereinafter referred to as "OWNER" sets forth Permits as follows:

WITNESSETH:

WHEREAS, the Board of Directors of the DISTRICT adopted the request for an Encroachment Permit on February 7, 2017, as shown in the Resolution attached hereto as **Exhibit "A."**

WHEREAS, DISTRICT occupies easements and fee-owned lands for its irrigation and drainage facilities, and

WHEREAS, OWNER'S property described in the attached **Exhibit "B"** (the "Subject Property") is subject to all or a portion of said easements, and

WHEREAS, OWNER has title to the Subject Property and wishes to encroach upon the ALBERS Lateral right-of-way with encroachments as follows:

1. One (1) 8" 100 PSI PIP PVC private irrigation pipeline crossing.

WHEREAS, DISTRICT is willing to permit said encroachments provided the OWNER agrees to the following provisions:

1. Nature of Right Conferred. This Permit is valid only for the purposes specified herein, and neither the Permit, nor use there under shall create an easement, right-of-way, or other interest in real property owned by DISTRICT.

DISTRICT intends hereby to assent only to (a) an encroachment upon an

THIS PERMIT shall be a covenant binding upon both DISTRICT and OWNER.

IN WITNESS WHEREOF, DISTRICT and OWNER have caused their names to be affixed.

OAKDALE IRRIGATION DISTRICT
"DISTRICT"


Steve Webb, President
Board of Directors

Date

Steve Knell, P.E.
General Manager/Secretary

Date

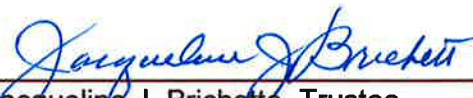
"OWNER"



John P. Brichetto, Trustee
John and Jacqueline Brichetto
Revocable Trust dated May 7, 2008

1/27/17

Date



Jacqueline J. Brichetto, Trustee
John and Jacqueline Brichetto
Revocable Trust dated May 7, 2008

2/1/2017

Date



Joseph P. Brichetto, Owner

1/27/17

Date



John M. Brichetto, Owner

1/27/17

Date



Lee Ana L. Brichetto, Owner

1/30/17

Date

Mailing Address: P.O. Box 11600
Oakdale, CA, 95361

SIGNATURES MUST BE NOTARIZED AND BE PER RECORDED DEED

CERTIFICATE OF ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California
County of **Stanislaus**

On Jan. 27, 2017 before me Carla Lillie, Notary Public,
personally appeared John M. Brichetto

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal

Carla Lillie
Signature

(Seal)



CERTIFICATE OF ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California
County of **Stanislaus**

On Jan 27, 2017 before me Carla Lillie, Notary Public,
personally appeared Joseph P. Brichetto

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal

Carla Lillie
Signature

(Seal)



CERTIFICATE OF ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California
County of **Stanislaus**

On Jan 27, 2017 before me Carla Lillie, Notary Public,
personally appeared John P. Brichetto
who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are
subscribed to the within instrument and acknowledged to me that he/she/they executed the same in
his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the
person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing
paragraph is true and correct.

WITNESS my hand and official seal

Carla Lillie

Signature

(Seal)



CERTIFICATE OF ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California
County of **Stanislaus**

On Jan 30, 2017 before me Carla Lillie, Notary Public,
personally appeared Lee Ann L. Brichetto
who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are
subscribed to the within instrument and acknowledged to me that he/she/they executed the same in
his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the
person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing
paragraph is true and correct.

WITNESS my hand and official seal

Carla Lillie

Signature

(Seal)



CERTIFICATE OF ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California
County of **Stanislaus**

On Feb 1, 2017 before me Carla Lillie, Notary Public,
personally appeared Jacqueline J. Brichetto

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal

Carla Lillie
Signature (Seal)



CERTIFICATE OF ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California
County of **Stanislaus**

On _____ before me _____, Notary Public,
personally appeared _____

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal

Signature (Seal)

EXHIBIT "A"

**OAKDALE IRRIGATION DISTRICT
RESOLUTION NO. 2017-NIL**

ENCROACHMENT PERMIT ON THE ALBERS LATERAL

APN: 014-006-002

WHEREAS, JOHN P. BRICHETTO AND JACQUELINE J. BRICHETTO, TRUSTEES OF THE JOHN AND JACQUELINE BRICHETTO 2008 REVOCABLE TRUST DATED MAY 7, 2008, JOSEPH P. BRICHETTO, A SINGLE MAN, AND JOHN M. AND LEE ANA L. BRICHETTO, HUSBAND AND WIFE AS JOINT TENANTS are the titled owners of the property located in the West 1/2 of Section 15 and the East 1/2 of Section 16, Township 3 South, Range 10 East, Mount Diablo Base and Meridian, in the unincorporated area of Stanislaus County, California; and

WHEREAS, JOHN P. BRICHETTO AND JACQUELINE J. BRICHETTO, TRUSTEES OF THE JOHN AND JACQUELINE BRICHETTO 2008 REVOCABLE TRUST DATED MAY 7, 2008, JOSEPH P. BRICHETTO, A SINGLE MAN, AND JOHN M. AND LEE ANA L. BRICHETTO, HUSBAND AND WIFE AS JOINT TENANTS have requested an Encroachment Permit for:

1. One (1) 8" 100 PSI PIP PVC private irrigation pipeline crossing.

WHEREAS, the Encroachment Permit has been signed by the titled owners.

NOW THEREFORE BE IT RESOLVED, that the provisions contained in the Encroachment Permit of the above-identified land have been accepted by the titled owners of said property, is hereby accepted by the District, and that the President be and is hereby authorized and directed to have the same recorded on the records of Stanislaus County, and that said Encroachment Permit in its entirety is incorporated herein by reference to this Resolution.

Upon Motion of Director _____ seconded by Director _____, and duly submitted to the Board for its consideration, the above-titled Resolution was adopted this seventh day of February, 2017.

OAKDALE IRRIGATION DISTRICT

Steve Webb, President
Board of Directors

Steve Knell, P.E.
General Manager/Secretary

EXHIBIT "B"

LEGAL DESCRIPTION FOR SUBJECT PROPERTY

The land referred to herein below is situated in the unincorporated area of the County of Stanislaus, State of California and is described as follows:

Parcel One:

A portion of Lots 7, 8, 15, 22, 25, 26, 10, 11, 13, 14, and 23 and all of Lot 9 of Albers Colony Tract, according to the Official Map thereof filed for record September 29, 1914 in Book 8 of Maps, Page 23, Stanislaus County Records, described as follows:

Beginning at the corner common to Sections 9, 10, 15, and 16, Township 3 South, Range 10 East, Mount Diablo Base and Meridian; thence North 89° 48' East along the line common to said Sections 10 and 15, 18.778 chains to a point in the center line of Oakdale Irrigation District's Albers Lateral; thence along the center line of said lateral the courses and distances:

South 10° 21 1/2' West 1.6164 chains;

South 26° 12' West 1.2320 chains;

South 47° 04' West 8.2192 chains;

South 30° 19 1/2' West 5.1333 chains;

thence leaving the center line of said lateral and running South 0° 12' West 32.2305 chains to a point; thence North 80° 32' West 4.6954 chains to a point; thence North 78° 45' West 13.8758 chains to a point in the center line of the above mentioned Albers Lateral; thence along the center line of said lateral South 69° 52' West 6.7877 chains; thence leaving the center line of said lateral and running North 17° 27' West 0.0667 chains to an iron pipe at the Southeasterly corner of the Easterly boundary of said parcel of land conveyed to E. K. Finney by Deed recorded in Book 672, Page 446, of Official Records; thence along the Easterly boundary of said parcel of land so conveyed the following courses and distances:

North 17° 21 1/2' West 1.6164 chains;

North 6° 38' West 0.516 chains;

North 23° 02' East 25.366 chains to a point in the line common to Sections 9 and 16, above Township and Range;

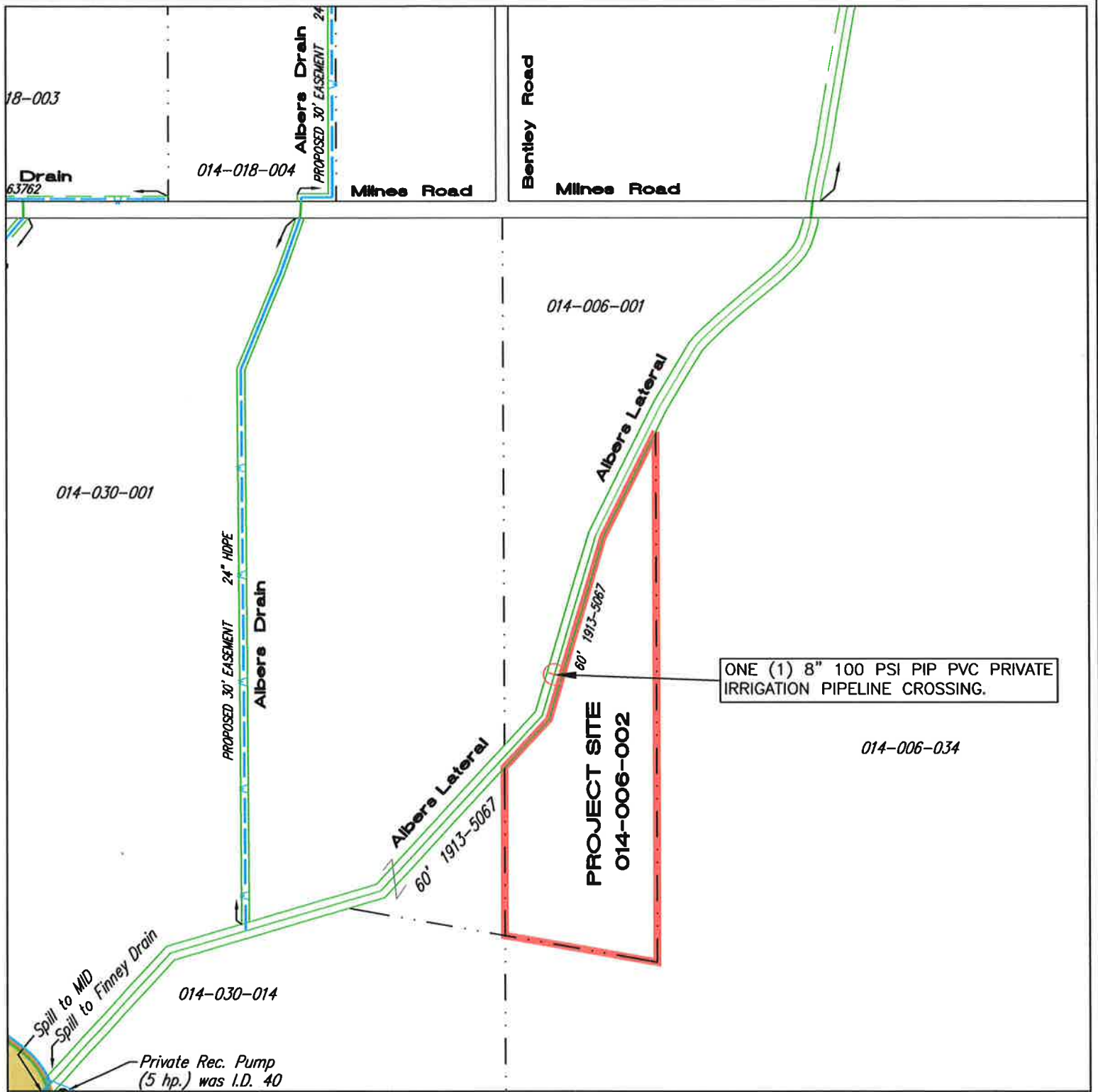
thence along said common section line North 89° 46' East 11.763 chains to the point of beginning.

Except therefrom all that portion lying within the right-of-way of the Oakdale Irrigation District's Albers Lateral.

APN: 014-006-001 and 002

APN: 014-030-001 (portion)

END OF DESCRIPTION



OAKDALE IRRIGATION DISTRICT
 1205 EAST F STREET
 OAKDALE CALIFORNIA 95361

**PROJECT SITE MAP
 ENCROACHMENT PERMIT
 APN: 014-006-002**



DATE: OCT. 10, 2016
 DRAWN BY: CMK
 CHECKED BY: ECT

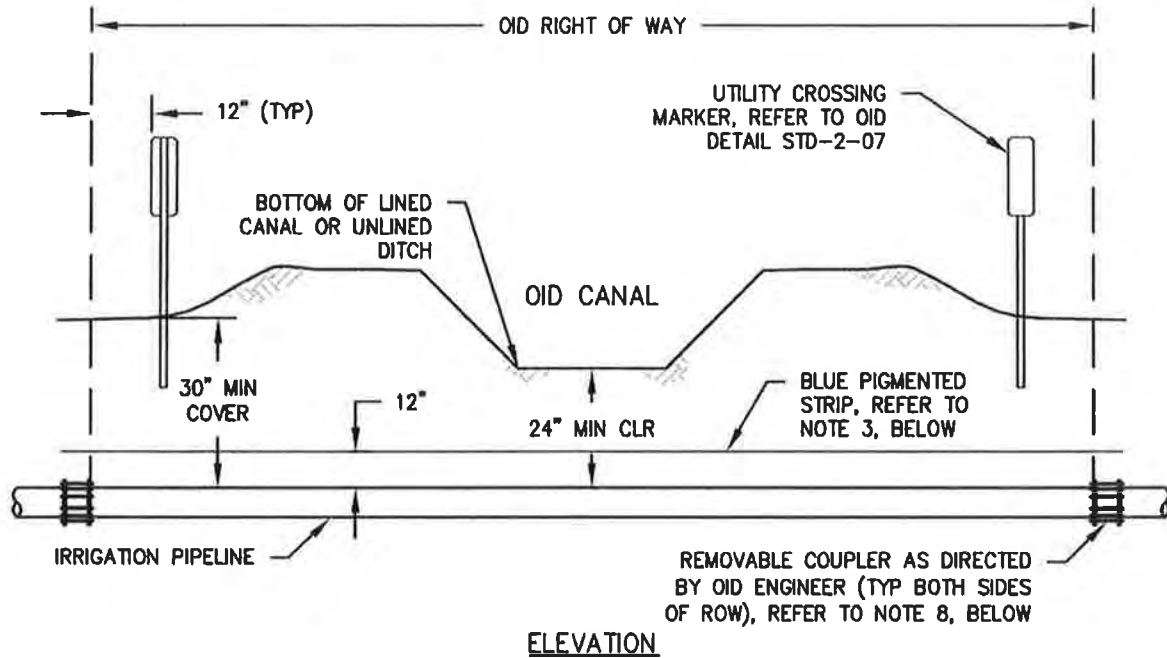
EXHIBIT "C"

**NOT TO SCALE
 SHEET 1 of 1**





EXHIBIT D

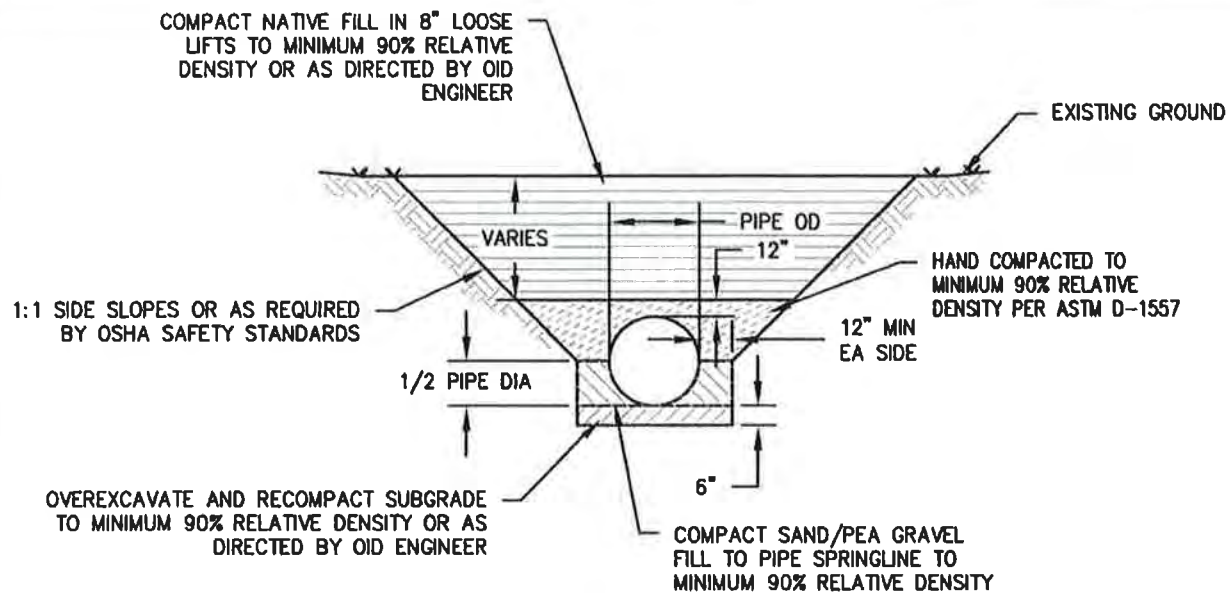
**OID STANDARD DETAILS: STD-2-01, STD-5-01
THREE (3) PAGES TOTAL, INCLUDING COVER SHEET**



CONSTRUCTION NOTES



1. THIS STANDARD APPLIES TO OPEN CUT CANAL SECTIONS AND IRRIGATION WATER PIPELINE CROSSINGS ONLY. THE OID ENGINEER RESERVES THE RIGHT TO DETERMINE THE APPLICATION OF THIS STANDARD.
2. THIS DRAWING IS INTENDED TO SHOW THE PIPELINE CANAL CROSSING DETAILS ONLY. ADDITIONAL VALVES AND APPURTENANCES MAY BE REQUIRED FOR PROPER SYSTEM DESIGN.
3. FOR IRRIGATION PIPELINES, PROVIDE A BLUE PIGMENTED WARNING STRIP PLACED ALONG THE CENTER AND 12 INCHES ABOVE THE TOP OF ANY PIPE.
4. IRRIGATION PIPELINE SHALL BE SEAMLESS WELDED STEEL PIPE (MINIMUM GAUGE 10, 0.135 INCH WALL THICKNESS), DUCTILE IRON (MINIMUM DIP CLASS 50), OR POLYVINYL CHLORIDE 100 PSI PIPE THROUGH THE ENTIRE OID RIGHT OF WAY. STEEL OR DIP PIPE SHALL BE COATED WITH 2 COATS OF BITUMINOUS MATERIAL WHERE BURIED. BITUMINOUS COATING SHALL BE ALLOWED TO DRY BEFORE BACKFILL. ALL JOINTS SHALL BE WATER TIGHT.
5. PIPE SHALL HAVE MINIMUM 30 INCHES OF COVER OVER TOP OF PIPE THROUGH CANAL BANKS AND OID RIGHT OF WAY AND MINIMUM 24 INCHES OF COVER UNDER CANAL INVERTS. IF PIPE IS ENCASED, CASING SHALL BE MINIMUM 10 GAUGE, WELDED STEEL PIPE.
6. BACKFILL AND SUBGRADES SHALL BE COMPACTED TO MINIMUM 90% RELATIVE DENSITY PER ASTM D-1557, AND SHALL BE MANUALLY COMPACTED A MINIMUM DEPTH OF 12 INCHES OVER TOP OF PIPE OR AS DIRECTED BY OID ENGINEER. THE MAXIMUM LAYER THICKNESS SHALL BE 8 INCHES BEFORE COMPACTION. REFER TO OID DETAIL STD-5-01, TYPICAL PIPE TRENCH.
7. PIPE SHALL NOT BE ENCASED IN CONCRETE SLURRY UNLESS DIRECTED BY OID ENGINEER.
8. IF PIPE CHANGES SIZE OR MATERIAL UPON LEAVING OID RIGHT OF WAY, A REMOVABLE COUPLER SHALL BE INSTALLED. REMOVABLE COUPLER SHALL BE STEEL BODY GASKETED SLEEVE TYPE, DRESSER STYLE 38, OR APPROVED EQUIVALENT. ALL NUTS, BOLTS, AND WASHERS USED TO SECURE UNDERGROUND FITTINGS SHALL BE STAINLESS STEEL. AFTER INSTALLATION, ALL HARDWARE SHALL BE COATED WITH A RUST PREVENTATIVE, WRAPPED WITH 4 MIL POLYETHYLENE SHEETING, AND SECURED WITH PVC TAPE.
9. FOR CONCRETE LINED CANALS, CONCRETE LINING SHALL BE SAW CUT AT CONTROL JOINTS ON EITHER SIDE OF PROPOSED PIPELINE ALIGNMENT AND LINING SHALL BE REMOVED PRIOR TO OPEN CUTTING CANAL. FOR REPLACEMENT OF CONCRETE LINING, REFER TO OID DETAIL STD-1-05 FOR COMPACTION AND LINING REQUIREMENTS.

| | | | | |
|---|--|--|---|---|
|  | OAKDALE IRRIGATION DISTRICT | | IRRIGATION PIPELINE CROSSING UNDER OID CANAL | |
| | APPROVED: | | SCALE: | STANDARD DETAIL STD-2-01 SHEET 1 OF 1 |
| |  JOHN B. DAVIDS, P.E., DISTRICT ENGINEER | | NOT TO SCALE DATE: JANUARY 2012 | |



CONSTRUCTION NOTES

1. BACKFILL AND SUBGRADES SHALL BE COMPACTED TO MINIMUM 90% RELATIVE DENSITY PER ASTM D-1557 AND SHALL BE MANUALLY COMPACTED A MINIMUM DEPTH OF 12 INCHES OVER TOP OF PIPE OR AS DIRECTED BY OID ENGINEER. THE MAXIMUM LAYER THICKNESS SHALL BE 8 INCHES BEFORE COMPACTION.
2. BACKFILL SHALL BE SELECT NATIVE MATERIAL, CONTAIN NO MATERIAL OVER 3 INCHES IN DIAMETER OR LENGTH, AND SHALL BE COMPACTED AGAINST UNDISTURBED EARTH. FILL MATERIAL SHALL CONTAIN NO SOD, BRUSH, ROOTS, OR OTHER ORGANIC OR OTHERWISE UNSUITABLE MATERIAL.
3. PIPELINE SHALL BE INSTALLED ACCORDING TO MANUFACTURER INSTRUCTIONS AND SPECIFICATIONS. MINIMUM DEPTH OF COVER SHALL BE 30 INCHES OR AS DIRECTED BY OID ENGINEER.
4. COMPACTION TESTS SHALL BE AT THE LANDOWNER OR DEVELOPER EXPENSE. ANY RETESTS SHALL BE PAID BY THE CONTRACTOR. FREQUENCY AND LOCATION OF THE TESTS SHALL BE AS DIRECTED BY OID ENGINEER.
5. DEWATERING DUE TO HIGH GROUNDWATER OR CANAL SEEPAGE MAY BE REQUIRED. DEWATERING METHODS SHALL BE PRE-APPROVED BY OID ENGINEER PRIOR TO COMMENCEMENT OF DEWATERING.
6. TRENCH WIDTHS SHALL BE AS SHOWN UNLESS THE PIPELINE SIZE IS 4 INCHES OR SMALLER, WHERE THE TRENCH SHALL HAVE A 12 INCH MINIMUM WIDTH.
7. BEDDING, IF REQUIRED SHALL BE MINIMUM 4 INCHES AS DIRECTED BY OID ENGINEER. BEDDING SHALL CONFORM TO THE SPECIFICATIONS BELOW. SOIL TYPES SHALL BE AS DETERMINED BY OID ENGINEER.
 - A. ON SANDY SOIL (BEDDING & HAUNCHING):
NATIVE MATERIAL, IF SUITABLE, OR SAND AS DIRECTED BY OID ENGINEER
 - B. ON CLAY SOIL (BEDDING & HAUNCHING):
SAND OR APPROVED NATIVE MATERIAL AS PRE-APPROVED BY OID ENGINEER SHALL BE PLACED IN 8 INCH LIFTS
8. WATER PACKING OR JETTING SHALL ONLY BE USED ON SOILS PRE-APPROVED BY OID ENGINEER. WHEN WATER PACKING OR JETTING IS USED, THE AMOUNT OF WATER SHALL BE CONTROLLED TO INSURE THAT POOLING OF EXCESS WATER DOES NOT OCCUR. THE WETTED FILL MUST BE ALLOWED TO REACH OPTIMUM MOISTURE AND THEN MECHANICALLY COMPACTED TO MEET MINIMUM 90% RELATIVE DENSITY PER ASTM D-1557 BEFORE ADDITIONAL BACKFILLING IS DONE. CARE MUST BE EXERCISED TO PREVENT PIPE FLOTATION DURING WATER PACKING OR JETTING. MEASURES MUST BE PRE-APPROVED BY OID ENGINEER. THIS ITEM DOES NOT APPLY TO PVC OR HDPE PIPELINES.

| | | | | |
|--|---|--|---------------------|---|
|  11 Years of Service | OAKDALE IRRIGATION DISTRICT | | TYPICAL PIPE TRENCH | |
| | APPROVED:  JOHN B. DAVIDS, P.E., DISTRICT ENGINEER | | SCALE: NOT TO SCALE | STANDARD DETAIL STD-5-01 SHEET 1 OF 1 |
| | 1/26/12 DATE | | DATE: JANUARY 2012 | |

BOARD AGENDA REPORT

Date: February 7, 2017
Item Number: 17
APN: 014-044-003

**SUBJECT: APPROVE ENCROACHMENT PERMIT ON THE CLARIBEL VAMP PIPELINE
(APN: 014-044-003– THE JOHN AND JACQUELINE BRICHETTO 2008 REVOCABLE
TRUST DATED MAY 7, 2008, JOSEPH P. BRICHETTO, AND JOHN M. AND LEE ANA
L. BRICHETTO)**

RECOMMENDED ACTION: Approve

BACKGROUND AND/OR HISTORY:

The parcel noted above has installed a microirrigation system and a request to encroach upon the Claribel VAMP Pipeline was received. As part of the proposed agreement, one (1) 3" Sch. 40 PVC private irrigation pipeline and one (1) 8" 100 PSI PIP PVC private irrigation pipeline will be permitted to encroach upon and cross the pipeline. OID staff has reviewed the project and recommends approval of this Encroachment Permit.

FISCAL IMPACT: A deposit has been collected to cover all District costs.

ATTACHMENTS:

- Encroachment Permit
-

Board Motion:

Motion by: _____ **Second by:** _____

VOTE

Webb (Yes/No) Doornenbal (Yes/No) Osmundson (Yes/No) Altieri (Yes/No) Santos (Yes/No)

Action(s) to be taken:

RECORDING REQUESTED BY &
WHEN RECORDED RETURN TO:



OAKDALE IRRIGATION DISTRICT
1205 East F Street
Oakdale, CA 95361

APNs: 014-044-003

**ENCROACHMENT PERMIT
ON THE CLARIBEL VAMP PIPELINE**

THIS ENCROACHMENT PERMIT executed this SEVENTH day of FEBRUARY, 2017, by and between OAKDALE IRRIGATION DISTRICT, an irrigation district organized and existing under the laws of the State of California, hereinafter referred to as "DISTRICT," and JOHN P. BRICHETTO AND JACQUELINE J. BRICHETTO, TRUSTEES OF THE JOHN AND JACQUELINE BRICHETTO 2008 REVOCABLE TRUST DATED MAY 7, 2008, JOSEPH P. BRICHETTO, A SINGLE MAN, AND JOHN M. AND LEE ANA L. BRICHETTO, HUSBAND AND WIFE AS JOINT TENANTS, ALL AS TENANTS IN COMMON, hereinafter referred to as "OWNER" sets forth Permits as follows:

WITNESSETH:

WHEREAS, the Board of Directors of the DISTRICT adopted the request for an Encroachment Permit on February 7, 2017, as shown in the Resolution attached hereto as **Exhibit "A."**

WHEREAS, DISTRICT occupies easements and fee-owned lands for its irrigation and drainage facilities, and

WHEREAS, OWNER'S property described in the attached **Exhibit "B"** (the "Subject Property") is subject to all or a portion of said easements, and

WHEREAS, OWNER has title to the Subject Property and wishes to encroach upon the Claribel VAMP Pipeline right-of-way with encroachments as follows:

1. One (1) existing 3" Sch. 40 PVC private irrigation pipeline crossing.
2. One (1) existing 8" 100 PSI PIP PVC private irrigation pipeline crossing.

WHEREAS, DISTRICT is willing to permit said encroachments provided the OWNER agrees to the following provisions:

1. Nature of Right Conferred. This Permit is valid only for the purposes specified herein, and neither the Permit, nor use there under shall create an easement, right-of-way, or other interest in real property owned by DISTRICT.

THIS PERMIT shall be a covenant binding upon both DISTRICT and OWNER.

IN WITNESS WHEREOF, DISTRICT and OWNER have caused their names to be affixed.

OAKDALE IRRIGATION DISTRICT
"DISTRICT"


Steve Webb, President
Board of Directors

Date

Steve Knell, P.E.
General Manager/Secretary

Date


"OWNER"



John P. Brichetto, Trustee
John and Jacqueline Brichetto
Revocable Trust dated May 7, 2008

1/27/17


Date



Jacqueline J. Brichetto, Trustee
John and Jacqueline Brichetto
Revocable Trust dated May 7, 2008

2/1/2017

Date



Joseph P. Brichetto, Owner

1/27/17

Date



John M. Brichetto, Owner

1/27/17

Date



Lee Ana L. Brichetto, Owner

1/30/17

Date

Mailing Address: P.O. Box 11600
 Oakdale, CA, 95361

SIGNATURES MUST BE NOTARIZED AND BE PER RECORDED DEED

CERTIFICATE OF ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California
County of **Stanislaus**

On Jan. 27, 2017 before me Carla Lillie, Notary Public,
personally appeared John M. Brichetto
who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are
subscribed to the within instrument and acknowledged to me that he/she/they executed the same in
his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the
person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

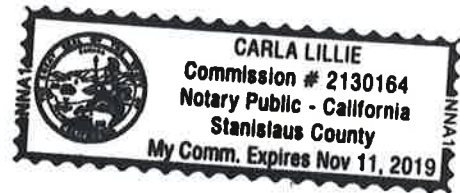
I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing
paragraph is true and correct.

WITNESS my hand and official seal

Carla Lillie

Signature

(Seal)



CERTIFICATE OF ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California
County of **Stanislaus**

On Jan 27, 2017 before me Carla Lillie, Notary Public,
personally appeared Joseph P. Brichetto
who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are
subscribed to the within instrument and acknowledged to me that he/she/they executed the same in
his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the
person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing
paragraph is true and correct.

WITNESS my hand and official seal

Carla Lillie

Signature

(Seal)



CERTIFICATE OF ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California
County of Stanislaus

On Jan 27, 2017 before me Carla Lillie, Notary Public,
personally appeared John P. Brichetto

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal

Carla Lillie

Signature

(Seal)



CERTIFICATE OF ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California
County of Stanislaus

On Jan 30, 2017 before me Carla Lillie, Notary Public,
personally appeared Lee Ann L. Brichetto

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal

Carla Lillie

Signature

(Seal)



CERTIFICATE OF ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California
County of **Stanislaus**

On Feb 1, 2017 before me Carla Lillie, Notary Public,
personally appeared Jacqueline J. Brichetto
who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are
subscribed to the within instrument and acknowledged to me that he/she/they executed the same in
his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the
person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing
paragraph is true and correct.

WITNESS my hand and official seal

Carla Lillie
Signature (Seal)



CERTIFICATE OF ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California
County of **Stanislaus**

On _____ before me _____, Notary Public,
personally appeared _____
who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are
subscribed to the within instrument and acknowledged to me that he/she/they executed the same in
his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the
person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing
paragraph is true and correct.

WITNESS my hand and official seal

Signature (Seal)

EXHIBIT "A"

**OAKDALE IRRIGATION DISTRICT
RESOLUTION NO. 2017-NIL**

ENCROACHMENT PERMIT ON THE CLARIBEL VAMP PIPELINE

APN: 014-044-003

WHEREAS, JOHN P. BRICHETTO AND JACQUELINE J. BRICHETTO, TRUSTEES OF THE JOHN AND JACQUELINE BRICHETTO 2008 REVOCABLE TRUST DATED MAY 7, 2008, JOSEPH P. BRICHETTO, A SINGLE MAN, AND JOHN M. AND LEE ANA L. BRICHETTO, HUSBAND AND WIFE AS JOINT TENANTS, ALL AS TENANTS IN COMMON are the titled owners of the property located in the Southeast 1/4 of Section 22, and the Northwest 1/4 of Section 27, Township 3 South, Range 10 East, Mount Diablo Base and Meridian, in the unincorporated area of Stanislaus County, California; and

WHEREAS, JOHN P. BRICHETTO AND JACQUELINE J. BRICHETTO, TRUSTEES OF THE JOHN AND JACQUELINE BRICHETTO 2008 REVOCABLE TRUST DATED MAY 7, 2008, JOSEPH P. BRICHETTO, A SINGLE MAN, AND JOHN M. AND LEE ANA L. BRICHETTO, HUSBAND AND WIFE AS JOINT TENANTS, ALL AS TENANTS IN COMMON have requested an Encroachment Permit for:

1. One (1) existing 3" Sch. 40 PVC private irrigation pipeline crossing.
2. One (1) existing 8" 100 PSI PIP PVC private irrigation pipeline crossing.

WHEREAS, the Encroachment Permit has been signed by the titled owners.

NOW THEREFORE BE IT RESOLVED, that the provisions contained in the Encroachment Permit of the above-identified land have been accepted by the titled owners of said property, is hereby accepted by the District, and that the President be and is hereby authorized and directed to have the same recorded on the records of Stanislaus County, and that said Encroachment Permit in its entirety is incorporated herein by reference to this Resolution.

Upon Motion of Director _____ seconded by Director _____, and duly submitted to the Board for its consideration, the above-titled Resolution was adopted this seventh day of February, 2017.

OAKDALE IRRIGATION DISTRICT

Steve Webb, President
Board of Directors

Steve Knell, P.E.
General Manager/Secretary

EXHIBIT "B"

LEGAL DESCRIPTION FOR SUBJECT PROPERTY

Parcel No. 1:

All that portion of the northeast quarter of the southeast quarter of Section 22, Township 3 South, Range 10 East, Mount Diablo Base and Meridian, lying east of the Modesto Irrigation District Main Canal Right-of-Way, north of a line described as:

Beginning at a point in the east line of said Section 22, said point lying South 1175 feet from the east quarter corner of said Section 22 and running thence South $89^{\circ} 57'$ West to a point in the easterly right-of-way line of said Modesto Irrigation District Main Canal, and also lying east of a line described as:

Beginning at a point in the east and west quarter section line of said Section 22 that is South $89^{\circ} 57'$ West 805 feet from the east quarter section corner of said Section 22 and running thence South $12^{\circ} 23'$ West 420 feet to a point in the easterly right-of-way line of said Modesto Irrigation District Main Canal.

Excepting therefrom any portions thereof lying within county road rights-of-way for Albers Road and Dusty Lane.

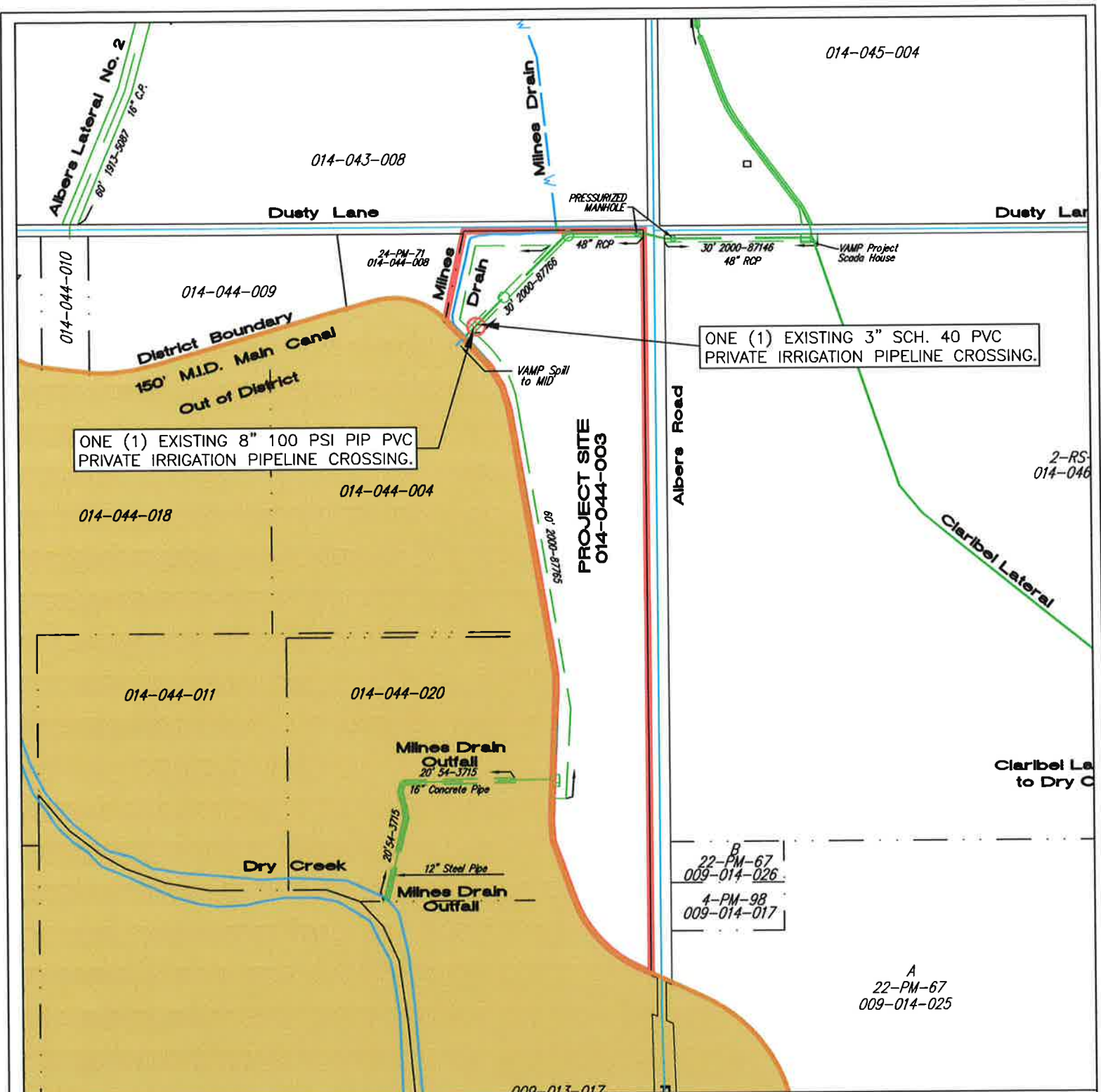
Parcel No. 2:

All that portion of the east half of the southeast quarter of Section 22, Township 3 South, Range 10 East, and of the east half of the northeast quarter of the northeast quarter of Section 27, Township 3 South, Range 10 East, lying north and east of the Modesto Irrigation District Main Canal and south of a line described as:

Beginning at a point in the east line of said Section 22, said point lying South 1175 feet from east quarter corner of said Section 22; thence South $89^{\circ} 57'$ West to the east right-of-way line of said Modesto Irrigation District Main Canal.

APN: 014-044-003

END OF DESCRIPTION



OAKDALE IRRIGATION DISTRICT
1205 EAST F STREET
OAKDALE CALIFORNIA 95361

PROJECT SITE MAP
ENCROACHMENT PERMIT
APN: 014-044-003
CLARIBEL VAMP PIPELINE



DATE: JAN. 16, 2017
DRAWN BY: CMK
CHECKED BY: ECT

EXHIBIT "C"

NOT TO SCALE
SHEET 1 of 1

BOARD AGENDA REPORT

Date: February 7, 2017
Item Number: 18
APN: 010-039-047

SUBJECT: APPROVE ENCROACHMENT PERMIT AND AGRICULTURAL DISCHARGE PERMIT ON THE ADAMS NO. 1 PIPELINE (APN: 010-039-047– THE JOHN AND JACQUELINE BRICHETTO 2008 REVOCABLE TRUST DATED MAY 7, 2008, JOSEPH P. BRICHETTO, AND JOHN M. AND LEE ANA L. BRICHETTO)

RECOMMENDED ACTION: Approve

BACKGROUND AND/OR HISTORY:

The parcel noted above has installed a microirrigation system and a request to encroach upon and discharge into the Adams No. 1 Pipeline was received. As part of the project, one (1) 4" Sch. 40 PVC private agricultural filter station backflush discharge pipeline will be permitted to encroach upon and discharge into the Adams No. 1 Pipeline. An Encroachment Permit and Agricultural Discharge Permit have been prepared for one (1) private agricultural filter station backflush discharge pipeline. OI staff has reviewed the project and recommends approval of the Encroachment and Agricultural Discharge Permits.

FISCAL IMPACT: A Structure Review Application fee has been submitted to cover all District costs.

ATTACHMENTS:

- Encroachment Permit
 - Agricultural Discharge Permit
-

Board Motion:

Motion by: _____ **Second by:** _____

VOTE

Webb (Yes/No) Doornenbal (Yes/No) Osmundson (Yes/No) Altieri (Yes/No) Santos (Yes/No)

Action(s) to be taken:

RECORDING REQUESTED BY &
WHEN RECORDED RETURN TO:



OAKDALE IRRIGATION DISTRICT
1205 East F Street
Oakdale, CA 95361

APN: 010-039-047

**AGRICULTURAL DISCHARGE PERMIT
ON THE ADAMS NO. 1 PIPELINE**

THIS AGRICULTURAL DISCHARGE PERMIT executed this SEVENTH day of FEBRUARY, 2017, by and between OAKDALE IRRIGATION DISTRICT, an irrigation district organized and existing under the laws of the State of California, hereinafter referred to as "DISTRICT," and JOHN P. BRICHETTO AND JACQUELINEJ. BRICHETTO, TRUSTEES OF THE JOHN AND JACQUELINE BRICHETTO 2008 REVOCABLE TRUST DATED MAY 7, 2008, JOSEPH P. BRICHETTO, A SINGLE MAN, AND JOHN M. BRICHETTO AND LEE ANA L. BRICHETTO, HUSBAND AND WIFE AS JOINT TENANTS, hereinafter referred to as "OWNER" sets forth Permits as follows:

WITNESSETH:

WHEREAS, the Board of Directors of the DISTRICT adopted the request for an Agricultural Discharge Permit on February 7, 2017, as shown in the Resolution attached hereto as **Exhibit "A."**

WHEREAS, DISTRICT occupies easements, rights of way and fee-owned lands for its irrigation and drainage facilities, hereinafter referred to as "CONDUITS".

WHEREAS, OWNER'S property described in the attached Exhibit "B" (the "Subject Property") is subject to all or a portion of said easements, rights of way and fee-owned lands, and

WHEREAS, OWNER has title to the Subject Property and requests that DISTRICT grant permission to release said Agricultural Discharge as needed, subject to the terms and conditions of this AGRICULTURAL DISCHARGE PERMIT from one (1) 4" Sch. 40 PVC private agricultural filter station backflush discharge pipeline.

THIS PERMIT shall be a covenant binding upon both DISTRICT and OWNER.

IN WITNESS WHEREOF, DISTRICT and OWNER have caused their names to be affixed.

OAKDALE IRRIGATION DISTRICT
"DISTRICT"

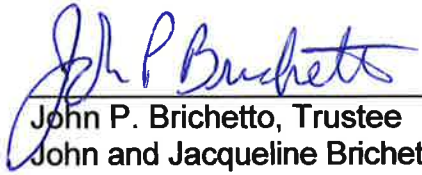
Steve Webb, President
Board of Directors

Date

Steve Knell, P.E.
General Manager/Secretary

Date

"OWNER"




John P. Brichetto, Trustee
John and Jacqueline Brichetto
Revocable Trust dated May 7, 2008

1/27/17
Date



Jacqueline J. Brichetto, Trustee
John and Jacqueline Brichetto
Revocable Trust dated May 7, 2008

2/1/2017
Date



Joseph P. Brichetto, Owner

1/27/17
Date



John M. Brichetto, Owner

1/27/17
Date



Lee Ana L. Brichetto, Owner

1/30/17
Date

Mailing Address: P.O. Box 11600
Oakdale, CA, 95361

SIGNATURES MUST BE NOTARIZED AND BE PER RECORDED DEED

CERTIFICATE OF ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California
County of Stanislaus

On Jan 27, 2017 before me Carla Lillie, Notary Public,
personally appeared John M. Bricchetto

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal

Carla Lillie

Signature

(Seal)



CERTIFICATE OF ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California
County of Stanislaus

On Jan 27, 2017 before me Carla Lillie, Notary Public,
personally appeared Joseph P. Bricchetto

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal

Carla Lillie

Signature

(Seal)



CERTIFICATE OF ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California
County of **Stanislaus**

On Jan 27, 2017 before me Carla Lillie, Notary Public,
personally appeared John P. Bricchetto

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

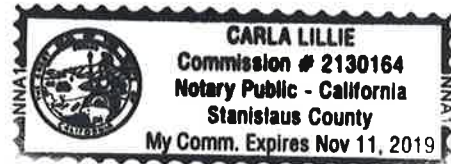
I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal

Carla Lillie

Signature

(Seal)



CERTIFICATE OF ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California
County of **Stanislaus**

On Jan 30, 2017 before me Carla Lillie, Notary Public,
personally appeared Lee Ann C. Bricchetto

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal

Carla Lillie

Signature

(Seal)



CERTIFICATE OF ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California
County of Stanislaus

On Feb 1, 2017 before me Carla Lillie, Notary Public,
personally appeared Sacquette S. Brichetta
who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are
subscribed to the within instrument and acknowledged to me that he/she/they executed the same in
his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the
person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing
paragraph is true and correct.

WITNESS my hand and official seal

Carla Lillie
Signature (Seal)



CERTIFICATE OF ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California
County of Stanislaus

On _____ before me _____, Notary Public,
personally appeared _____
who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are
subscribed to the within instrument and acknowledged to me that he/she/they executed the same in
his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the
person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing
paragraph is true and correct.

WITNESS my hand and official seal

Signature (Seal)

EXHIBIT "A"

**OAKDALE IRRIGATION DISTRICT
RESOLUTION NO. 2017-NIL**

AGRICULTURAL DISCHARGE PERMIT ON THE ADAMS NO. 1 PIPELINE

APN: 010-039-047

WHEREAS, JOHN P. BRICHETTO AND JACQUELINE J. BRICHETTO, TRUSTEES OF THE JOHN AND JACQUELINE BRICHETTO 2008 REVOCABLE TRUST DATED MAY 7, 2008, JOSEPH P. BRICHETTO, A SINGLE MAN, AND JOHN M. BRICHETTO AND LEE ANA L. BRICHETTO, HUSBAND AND WIFE AS JOINT TENANTS, are the titled owners of the property located in the Southwest 1/4 of Section 18, Township 2 South, Range 11 East, Mount Diablo Base and Meridian, in the unincorporated area of Stanislaus County, California; and has requested an Agricultural Discharge Permit for ONE (1) 4" SCH. 40 PVC PRIVATE AGRICULTURAL BACKFLUSH DISCHARGE PIPELINE on the ADAMS NO. 1 PIPELINE, constructed in accordance with District Standard Details.

WHEREAS, the Agricultural Discharge Permit has been signed by the titled OWNER.

NOW THEREFORE BE IT RESOLVED, that the provisions contained in the Agricultural Discharge Permit of the above-identified lands have been accepted by the titled OWNER of said property, is hereby accepted by the District, and that the President be and is hereby authorized and directed to have the same recorded on the records of Stanislaus County, and that said Agricultural Discharge Permit in its entirety is incorporated by reference to this Resolution.

Upon Motion of Director _____, seconded by Director _____, and duly submitted to the Board for its consideration, the above-titled Resolution was adopted this seventh day of February, 2017.

OAKDALE IRRIGATION DISTRICT

Steve Webb, President
Board of Directors

Steve Knell, P.E.
General Manager/Secretary

EXHIBIT "B"

LEGAL DESCRIPTION FOR SUBJECT PROPERTY

All that real property being a portion of Lots 17 and 26 as shown on that Map of Oakdale Irrigated Acres Sub-Tract No. Two filed for record in Book 8 of Maps at Page 44, Stanislaus County Records, situate in in Section 18, Township 2 South, Range 11 East, Mount Diablo Base and Meridian, Stanislaus County, California, being more particularly described as follows:

Beginning at the southwest corner of Lot 26 as shown on that Map of Oakdale Irrigated Acres Sub-Tract No. Two filed for record in Book 8 of Maps at Page 44, Stanislaus County Records, said point also being a point on the centerline of the 40.00 foot wide Wren Road as shown on that Record of Survey filed for record in Book 16 of Surveys at Page 9, Stanislaus County Records; thence along the west line of said Lot 26 North 01°04'20" West 659.51 feet to the southwest corner of Lot 17 as shown on said Map of Oakdale Irrigated Acres Sub-Tract No. Two; thence along the west line of said Lot 17 North 01°04'20" West 394.84 feet to a point on the south line of the 60.00 foot wide O.I.D. Adams Lateral as shown that Map of Oakdale Irrigated Acres Sub-Tract No. Two; thence along said south line South 69°51'20" East 802.31 feet; thence continuing along said south line South 71°48'20" East 301.98 feet; thence leaving said south line South 01°04'20" East 665.92 feet to the south line of said Lot 26; thence along said south line South 89°00'54" West 1033.00 feet to the Point of Beginning.

Subject to easements and rights-of-way of record.

APN: 010-039-047

END OF DESCRIPTION

RECORDING REQUESTED BY &
WHEN RECORDED RETURN TO:



OAKDALE IRRIGATION DISTRICT
1205 East F Street
Oakdale, CA 95361

APNs: 010-039-047

**ENCROACHMENT PERMIT
ON THE ADAMS NO. 1 PIPELINE**

THIS ENCROACHMENT PERMIT executed this SEVENTH day of FEBRUARY, 2017, by and between OAKDALE IRRIGATION DISTRICT, an irrigation district organized and existing under the laws of the State of California, hereinafter referred to as "DISTRICT," and JOHN P. BRICHETTO AND JACQUELINE J. BRICHETTO, TRUSTEES OF THE JOHN AND JACQUELINE BRICHETTO 2008 REVOCABLE TRUST DATED MAY 7, 2008, JOSEPH P. BRICHETTO, A SINGLE MAN, AND JOHN M. BRICHETTO AND LEE ANA L. BRICHETTO, HUSBAND AND WIFE AS JOINT TENANTS, hereinafter referred to as "OWNER" sets forth Permits as follows:

WITNESSETH:

WHEREAS, the Board of Directors of the DISTRICT adopted the request for an Encroachment Permit on February 7, 2017, as shown in the Resolution attached hereto as **Exhibit "A."**

WHEREAS, DISTRICT occupies easements and fee-owned lands for its irrigation and drainage facilities, and

WHEREAS, OWNER'S property described in the attached **Exhibit "B"** (the "Subject Property") is subject to all or a portion of said easements, and

WHEREAS, OWNER has title to the Subject Property and wishes to encroach upon the Adams No. 1 Pipeline right-of-way with encroachments as follows:

1. One (1) 4" Sch. 40 PVC private agricultural filter station backflush discharge pipeline.

WHEREAS, DISTRICT is willing to permit said encroachments provided the OWNER agrees to the following provisions:

1. Nature of Right Conferred. This Permit is valid only for the purposes specified herein, and neither the Permit, nor use there under shall create an easement, right-of-way, or other interest in real property owned by DISTRICT.

THIS PERMIT shall be a covenant binding upon both DISTRICT and OWNER.

IN WITNESS WHEREOF, DISTRICT and OWNER have caused their names to be affixed.

OAKDALE IRRIGATION DISTRICT
"DISTRICT"

Steve Webb, President
Board of Directors

Date

Steve Knell, P.E.
General Manager/Secretary

Date

"OWNER"



John P. Brichetto, Trustee
John and Jacqueline Brichetto
Revocable Trust dated May 7, 2008

1/27/17

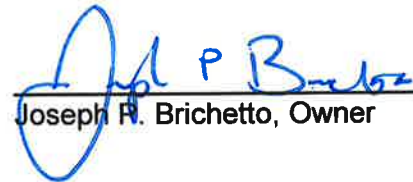
Date



Jacqueline J. Brichetto, Trustee
John and Jacqueline Brichetto
Revocable Trust dated May 7, 2008

2/1/2017

Date



Joseph R. Brichetto, Owner

1/27/17

Date



John M. Brichetto, Owner

1/27/17

Date



Lee Ana L. Brichetto, Owner

1/30/17

Date

Mailing Address: P.O. Box 11600
Oakdale, CA, 95361

SIGNATURES MUST BE NOTARIZED AND BE PER RECORDED DEED

CERTIFICATE OF ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California
County of **Stanislaus**

On Jan. 27, 2017 before me Carla Lillie, Notary Public,
personally appeared John M. Brichetta
who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are
subscribed to the within instrument and acknowledged to me that he/she/they executed the same in
his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the
person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing
paragraph is true and correct.

WITNESS my hand and official seal

Carla Lillie
Signature

(Seal)



CERTIFICATE OF ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California
County of **Stanislaus**

On Jan 27, 2017 before me Carla Lillie, Notary Public,
personally appeared Joseph P. Brichetta
who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are
subscribed to the within instrument and acknowledged to me that he/she/they executed the same in
his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the
person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing
paragraph is true and correct.

WITNESS my hand and official seal

Carla Lillie
Signature

(Seal)



CERTIFICATE OF ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California
County of **Stanislaus**

On Jan 27, 2017 before me Carla Lillie, Notary Public,
personally appeared John P. Brichetto
who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are
subscribed to the within instrument and acknowledged to me that he/she/they executed the same in
his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the
person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing
paragraph is true and correct.

WITNESS my hand and official seal

Carla Lillie

Signature

(Seal)



CERTIFICATE OF ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California
County of **Stanislaus**

On Jan 30, 2017 before me Carla Lillie, Notary Public,
personally appeared Lee Ann L. Brichetto
who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are
subscribed to the within instrument and acknowledged to me that he/she/they executed the same in
his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the
person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing
paragraph is true and correct.

WITNESS my hand and official seal

Carla Lillie

Signature

(Seal)



CERTIFICATE OF ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California
County of **Stanislaus**

On Feb. 1, 2017 before me Carla Lillie, Notary Public,
personally appeared Sacquette J. Brichetta

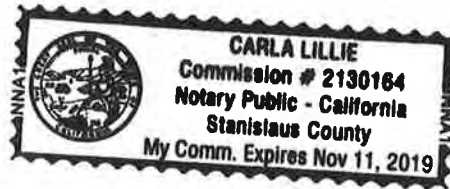
who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal

Carla Lillie
Signature

(Seal)



CERTIFICATE OF ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California
County of **Stanislaus**

On _____ before me _____, Notary Public,
personally appeared _____

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal

Signature

(Seal)

EXHIBIT "A"

**OAKDALE IRRIGATION DISTRICT
RESOLUTION NO. 2017-NIL**

ENCROACHMENT PERMIT ON THE ADAMS NO. 1 PIPELINE

APN: 010-039-047

WHEREAS, JOHN P. BRICHETTO AND JACQUELINE J. BRICHETTO, TRUSTEES OF THE JOHN AND JACQUELINE BRICHETTO 2008 REVOCABLE TRUST DATED MAY 7, 2008, JOSEPH P. BRICHETTO, A SINGLE MAN, AND JOHN M. BRICHETTO AND LEE ANA L. BRICHETTO, HUSBAND AND WIFE AS JOINT TENANTS are the titled owners of the property located in the Southwest 1/4 of Section 18, Township 2 South, Range 11 East, Mount Diablo Base and Meridian, in the unincorporated area of Stanislaus County, California; and

WHEREAS, JOHN P. BRICHETTO AND JACQUELINE J. BRICHETTO, TRUSTEES OF THE JOHN AND JACQUELINE BRICHETTO 2008 REVOCABLE TRUST DATED MAY 7, 2008, JOSEPH P. BRICHETTO, A SINGLE MAN, AND JOHN M. BRICHETTO AND LEE ANA L. BRICHETTO, HUSBAND AND WIFE AS JOINT TENANTS have requested an Encroachment Permit for:

1. One (1) 4" Sch. 40 PVC private agricultural filter station backflush discharge pipeline.

WHEREAS, the Encroachment Permit has been signed by the titled owners.

NOW THEREFORE BE IT RESOLVED, that the provisions contained in the Encroachment Permit of the above-identified land have been accepted by the titled owners of said property, is hereby accepted by the District, and that the President be and is hereby authorized and directed to have the same recorded on the records of Stanislaus County, and that said Encroachment Permit in its entirety is incorporated herein by reference to this Resolution.

Upon Motion of Director _____ seconded by Director _____, and duly submitted to the Board for its consideration, the above-titled Resolution was adopted this seventh day of February, 2017.

OAKDALE IRRIGATION DISTRICT

Steve Webb, President
Board of Directors

Steve Knell, P.E.
General Manager/Secretary

EXHIBIT "B"

LEGAL DESCRIPTION FOR SUBJECT PROPERTY

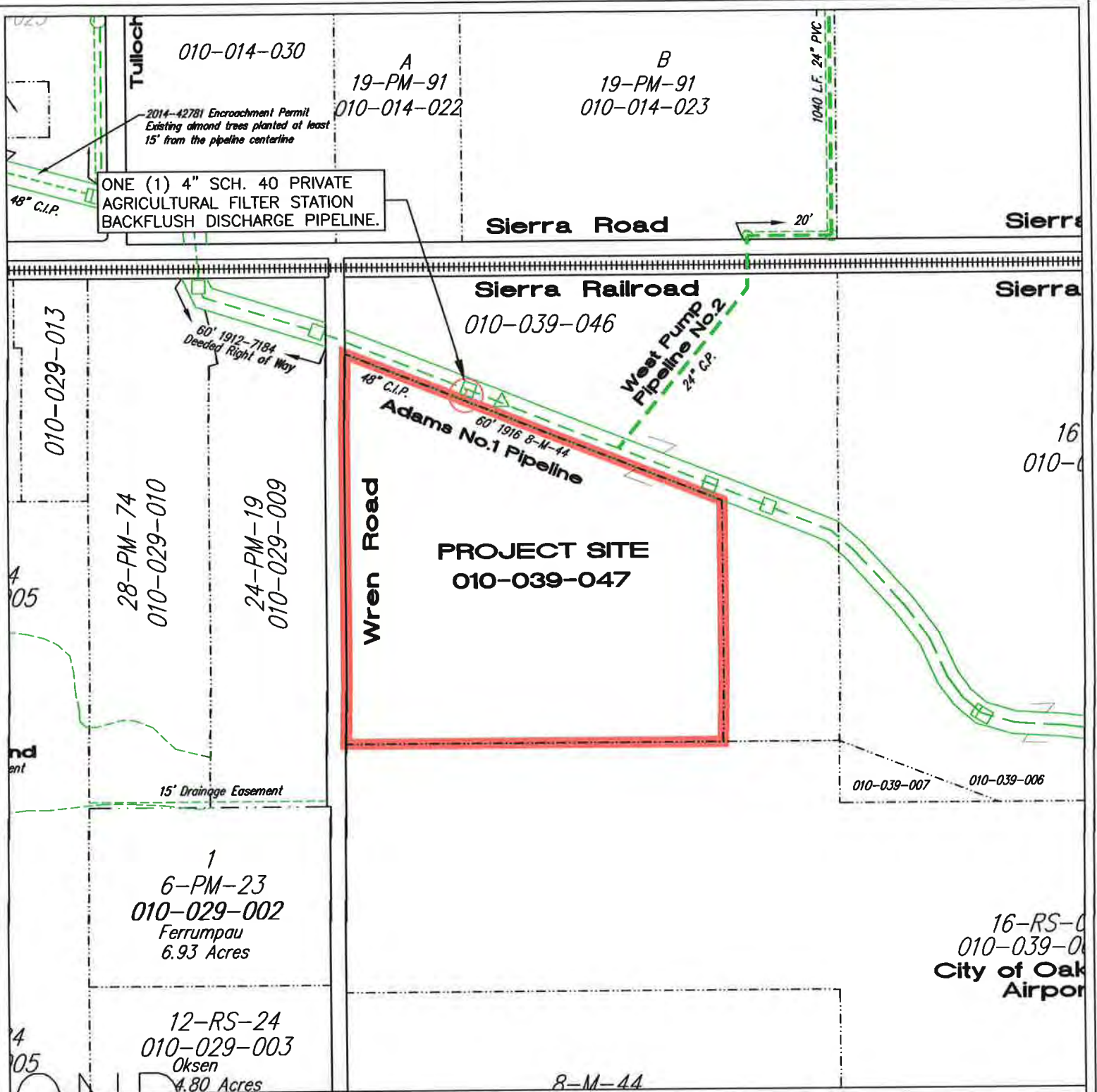
All that real property being a portion of Lots 17 and 26 as shown on that Map of Oakdale Irrigated Acres Sub-Tract No. Two filed for record in Book 8 of Maps at Page 44, Stanislaus County Records, situate in in Section 18, Township 2 South, Range 11 East, Mount Diablo Base and Meridian, Stanislaus County, California, being more particularly described as follows:

Beginning at the southwest corner of Lot 26 as shown on that Map of Oakdale Irrigated Acres Sub-Tract No. Two filed for record in Book 8 of Maps at Page 44, Stanislaus County Records, said point also being a point on the centerline of the 40.00 foot wide Wren Road as shown on that Record of Survey filed for record in Book 16 of Surveys at Page 9, Stanislaus County Records; thence along the west line of said Lot 26 North 01°04'20" West 659.51 feet to the southwest corner of Lot 17 as shown on said Map of Oakdale Irrigated Acres Sub-Tract No. Two; thence along the west line of said Lot 17 North 01°04'20" West 394.84 feet to a point on the south line of the 60.00 foot wide O.I.D. Adams Lateral as shown that Map of Oakdale Irrigated Acres Sub-Tract No. Two; thence along said south line South 69°51'20" East 802.31 feet; thence continuing along said south line South 71°48'20" East 301.98 feet; thence leaving said south line South 01°04'20" East 665.92 feet to the south line of said Lot 26; thence along said south line South 89°00'54" West 1033.00 feet to the Point of Beginning.

Subject to easements and rights-of-way of record.

APN: 010-039-047

END OF DESCRIPTION



OID
OAKDALE IRRIGATION DISTRICT



OAKDALE IRRIGATION DISTRICT
1205 EAST F STREET
OAKDALE CALIFORNIA 95361

PROJECT SITE MAP
PROPOSED ENCROACHMENT PERMIT
APN: 010-039-047



DATE: JAN. 16, 2017
DRAWN BY: CMK
CHECKED BY: ECT

EXHIBIT "C"

NOT TO SCALE
SHEET 1 of 1

BOARD AGENDA REPORT

Date: February 7, 2017
Item Number: 19
APN: 063-005-004

SUBJECT: APPROVE ENCROACHMENT PERMIT ON THE TOWN "E" PIPELINE AND ENCROACHMENT PERMIT AND AGRICULTURAL DISCHARGE PERMIT ON THE BIRNBAUM PIPELINE (APN: 063-005-004 – THE JOHN PETER BRICHETTO 2008 IRREVOCABLE TRUST DATED DECEMBER 24, 2008, THE JOHN MICHAEL BRICHETTO 2012 IRREVOCABLE TRUST DATED DECEMBER 21, 2012, THE JOSEPH PAUL BRICHETTO 2012 IRREVOCABLE TRUST DATED DECEMBER 21, 2012)

RECOMMENDED ACTION: Approve

BACKGROUND AND/OR HISTORY:

The parcel noted above recently modified the existing microirrigation system and a request to encroach upon the OID Town "E" Pipeline and the Birnbaum Pipeline was received. The project includes the following encroachments:

1. Two (2) existing 10" 100 PSI PIP PVC private irrigation pipeline crossings on the Town "E" Pipeline.
2. One (1) existing 4" SCH. 40 PVC private agricultural filter station backflush discharge pipeline on the Birnbaum Pipeline.
3. One (1) existing 18" 100 PSI PIP PVC private irrigation pipeline crossing the Birnbaum Pipeline.
4. One (1) existing 10" 100 PSI PIP PVC private irrigation pipeline crossing the Birnbaum Pipeline.

An Encroachment Permit has been prepared for the encroachments noted above and an Agricultural Discharge Permit has been prepared for the agricultural filter station backflush discharge pipeline on the Birnbaum Pipeline. OID staff has reviewed the project and recommends approval of the Encroachment Permit and Agricultural Discharge Permit.

FISCAL IMPACT: A Structure Review Application fee has been submitted to cover all District costs.

ATTACHMENTS:

- Encroachment Permit
- Agricultural Discharge Permit

Board Motion:

Motion by: _____ **Second by:** _____

VOTE

Webb (Yes/No) Doornenbal (Yes/No) Osmundson (Yes/No) Altieri (Yes/No) Santos (Yes/No)

Action(s) to be taken:

RECORDING REQUESTED BY &
WHEN RECORDED RETURN TO:



OAKDALE IRRIGATION DISTRICT
1205 East F Street
Oakdale, CA 95361

APN: 063-005-004

**AGRICULTURAL DISCHARGE PERMIT
ON THE BIRNBAUM PIPELINE**

THIS AGRICULTURAL DISCHARGE PERMIT executed this SEVENTH day of FEBRUARY, 2017, by and between OAKDALE IRRIGATION DISTRICT, an irrigation district organized and existing under the laws of the State of California, hereinafter referred to as "DISTRICT," and JOHN PETER BRICHETTO, TRUSTEE OF THE JOHN PETER BRICHETTO 2008 IRREVOCABLE TRUST DATED DECEMBER 24, 2008; JOHN MICHAEL BRICHETTO, TRUSTEE OF THE JOHN MICHAEL BRICHETTO 2012 IRREVOCABLE TRUST DATED DECEMBER 21, 2012; JOSEPH PAUL BRICHETTO, AS TRUSTEE OF THE JOSEPH PAUL BRICHETTO 2012 IRREVOCABLE TRUST DATED DECEMBER 21, 2012, ALL AS TENANTS IN COMMON, hereinafter referred to as "OWNER" sets forth Permits as follows:

WITNESSETH:

WHEREAS, the Board of Directors of the DISTRICT adopted the request for an Agricultural Discharge Permit on February 7, 2017, as shown in the Resolution attached hereto as Exhibit "A."

WHEREAS, DISTRICT occupies easements, rights of way and fee-owned lands for its irrigation and drainage facilities, hereinafter referred to as "CONDUITS".

WHEREAS, OWNER'S property described in the attached Exhibit "B" (the "Subject Property") is subject to all or a portion of said easements, rights of way and fee-owned lands, and

WHEREAS, OWNER has title to the Subject Property and requests that DISTRICT grant permission to release said Agricultural Discharge as needed, subject to the terms and conditions of this AGRICULTURAL DISCHARGE PERMIT from one (1) 4" Sch. 40 PVC private agricultural filter station backflush discharge pipeline.

THIS PERMIT shall be a covenant binding upon both DISTRICT and OWNER.

IN WITNESS WHEREOF, DISTRICT and OWNER have caused their names to be affixed.

OAKDALE IRRIGATION DISTRICT
"DISTRICT"


Steve Webb, President
Board of Directors

Date


Steve Knell, P.E.
General Manager/Secretary

Date


"OWNER"



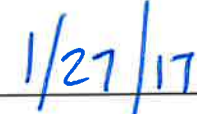
John Peter Brichetto, Trustee
John Peter Brichetto 2008 Irrevocable
Trust dated December 24, 2008




Date




John Michael Brichetto, Trustee
John Michael Brichetto 2012 Irrevocable
Trust dated December 21, 2012



Date



Joseph Paul Brichetto, Trustee
Joseph Paul Brichetto 2012 Irrevocable
Trust dated December 21, 2012



Date

Mailing Address: P.O. Box 11600
Oakdale, CA, 95361

SIGNATURES MUST BE NOTARIZED AND BE PER RECORDED DEED

CERTIFICATE OF ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California
County of **Stanislaus**

On Jan. 27, 2017 before me Carla Lillie, **Notary Public**,
personally appeared John Michael Brichetto
who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are
subscribed to the within instrument and acknowledged to me that he/she/they executed the same in
his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the
person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

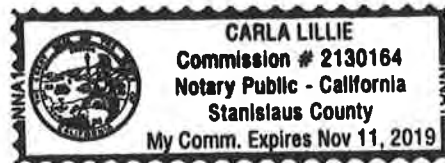
I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing
paragraph is true and correct.

WITNESS my hand and official seal

Carla Lillie

Signature

(Seal)



CERTIFICATE OF ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California
County of **Stanislaus**

On Jan. 27, 2017 before me Carla Lillie, **Notary Public**,
personally appeared Joseph Paul Brichetto
who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are
subscribed to the within instrument and acknowledged to me that he/she/they executed the same in
his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the
person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing
paragraph is true and correct.

WITNESS my hand and official seal

Carla Lillie

Signature

(Seal)



CERTIFICATE OF ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California
County of Stanislaus

On Jan. 27, 2017 before me Carla Lillie, Notary Public,
personally appeared John Peter Brichetto

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal



Signature

(Seal)



CERTIFICATE OF ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California
County of Stanislaus

On _____ before me _____, Notary Public,
personally appeared _____

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal

Signature

(Seal)

EXHIBIT "A"

**OAKDALE IRRIGATION DISTRICT
RESOLUTION NO. 2017-NIL**

AGRICULTURAL DISCHARGE PERMIT ON THE BIRNBAUM PIPELINE

APN: 063-005-004

WHEREAS, JOHN PETER BRICHETTO, TRUSTEE OF THE JOHN PETER BRICHETTO 2008 IRREVOCABLE TRUST DATED DECEMBER 24, 2008, JOHN MICHAEL BRICHETTO, TRUSTEE OF THE JOHN MICHAEL BRICHETTO 2012 IRREVOCABLE TRUST DATED DECEMBER 21, 2012, AND JOSEPH PAUL BRICHETTO, AS TRUSTEE OF THE JOSEPH PAUL BRICHETTO 2012 IRREVOCABLE TRUST DATED DECEMBER 21, 2012, are the titled owners of the property located in the Southeast 1/4 of Section 9, the Southwest 1/4 of Section 10, the North 1/2 of Section 16, and the Northwest 1/4 of Section 15, Township 3 South, Range 10 East, Mount Diablo Base and Meridian, in the unincorporated area of Stanislaus County, California; and has requested an Agricultural Discharge Permit for ONE (1) 4" SCH. 40 PVC PRIVATE AGRICULTURAL BACKFLUSH DISCHARGE PIPELINE on the BIRNBAUM PIPELINE, constructed in accordance with District Standard Details.

WHEREAS, the Agricultural Discharge Permit has been signed by the titled OWNER.

NOW THEREFORE BE IT RESOLVED, that the provisions contained in the Agricultural Discharge Permit of the above-identified lands have been accepted by the titled OWNER of said property, is hereby accepted by the District, and that the President be and is hereby authorized and directed to have the same recorded on the records of Stanislaus County, and that said Agricultural Discharge Permit in its entirety is incorporated by reference to this Resolution.

Upon Motion of Director _____, seconded by Director _____, and duly submitted to the Board for its consideration, the above-titled Resolution was adopted this seventh day of February, 2017.

OAKDALE IRRIGATION DISTRICT

Steve Webb, President
Board of Directors

Steve Knell, P.E.
General Manager/Secretary

EXHIBIT "B"

LEGAL DESCRIPTION FOR SUBJECT PROPERTY

All that certain real property situate in the County of Stanislaus, State of California, described as follows:

Parcel No. 1:

All that portion of real property in Thompson Rancho, being a portion of Section 15, Township 2 South, Range 10 East, Mount Diablo Base and Meridian, described as follows:

Beginning at a point on the section line between Sections 10 and 15, Township 2 South, Range 10 East, from which the section corner common to section 10, 11, 14 and 15 bears South 88 degrees 53' East, distance 73.89 chains; thence South 0 degrees 7' West 18.165 chains in Section 15; thence South 69 degrees 46' West 4.748 chains to the Eastern boundary line of the land formerly owned by W.A. Patterson; thence North 4 degrees 57' East 20.42 chains along said boundary line to the section line between said Sections 10 and 15; thence South 88 degrees 53' East 2.73 chains along said section line to the point of beginning.

Portion of APN 063-005-003

Parcel No. 3:

All that portion of real property in Thompson Rancho, being a portion of Section 15 and 16 in Township 2 South, Range 10 East, Mount Diablo Base and Meridian, described as follows:

Beginning at the quarter section corner on a line between Sections 15 and 16, Township 2 South, Range 10 East, Mount Diablo Base and Meridian, and running thence North 3-1/2 degrees East 45.82 chains to a post; thence South 84-1/4 degrees West 20.22 chains; thence South 77 degrees West 9.83 chains; thence South 74 degrees West 12.27 chains; thence South 87 degrees West 8.16 chains; thence South 83-1/2 Degrees West 14.66 chains to a post; thence South 36.00 chains to a post; thence South 89-3/4 degrees East 61-1/2 chains to the point of beginning.

Excepting therefrom the following portion thereof heretofore conveyed to L. F. Brichetto by deed recorded June 15, 1946 instrument number 14467, being a tract of land located in Section 16, Township 2 South, Range 10 East, Mount Diablo Base and Meridian:

Commencing at the Northwest corner of Lot 34 of the Oakdale Syndicate Tract as said lot as shown on the Map recorded in Volume 1 at Page 96 of Maps and running thence North 3802.00 feet to a point; thence South 65 degrees 00' 30" East 1100.33 feet; thence North 37 degrees 06' East 62.85 feet to the true point of beginning; thence North 31 degrees 54' West 182.00 feet; thence North 53 degrees 26' East 190.00 feet; thence

South 32 degrees 05' East 197.45 feet; thence South 58 degrees 06' West 190.00 feet to the true point of beginning.

Further excepting therefrom Parcel 1 as shown on that certain Parcel Map filed in the Office of the County Recorder of Stanislaus County, California, on May 24, 1985 in Volume 36 of Parcel Maps, at Page 71, and being a portion of Sections 15 and 16, Township 2 south, Range 10 East, Mount Diablo Base and Meridian.

And further excepting therefrom the south 20 feet of the East 1296 feet, located within Pontiac Street, as conveyed to the City of Oakdale by Deeds Recorded June 21, 1972 in Volume 2478 of Official Records, at page 821, and recorded May 3, 1973 in Volume 2551 of Official Records, at page 714, and recorded January 3, 1979 in Volume 3141 of Official Records, at Page 182.

And further excepting therefrom that 20 foot wide strip of land, located within Pontiac Street, as conveyed to Lodi Development Inc., a California Corporation, by deed recorded June 16, 1987 as instrument no. 92365 and conveyed to the City of Oakdale by Deed Recorded June 17, 1987 as instrument no. 92938.

Portion of APN: 063-005-003

Parcel No. 6:

The following described tract of land located in Section 16, Township 2 South, Range 10 East, Mount Diablo Base and Meridian.

Commencing at the Northwest corner of Lot 34 of the Oakdale Syndicate Tract as said lot is shown on the Map Recorded in Volume 1 at Page 96 of Maps, Office of the County Recorder, Stanislaus County, State of California, and running thence North 3802.00 feet to a point, thence North 65 degrees 00' 30" East, 1100.33 feet, (erroneously stated as "South 65 degrees 00' 300" East, 1100.33 feet" in the deed to L. F. Bricchetto recorded June 15, 1946 in Volume 845 of Official Records, at Page 441, as Instrument No. 14467); thence North 37 degrees 06' East, 62.85 feet to the true point of beginning; thence North 31 degrees 54' West, 182.00 feet; thence North 53 degrees 26' East, 190.0 feet; thence South 32 degrees 05' East, 197.45 feet; thence South 58 degrees 06' West, 190.0 feet to the true point of beginning.

APN: 084-010/063-005-001-101

Altogether known as APN: 063-005-004.

END OF DESCRIPTION

RECORDING REQUESTED BY &
WHEN RECORDED RETURN TO:



OAKDALE IRRIGATION DISTRICT
1205 East F Street
Oakdale, CA 95361

APNs: 063-005-004

**ENCROACHMENT PERMIT
ON THE BIRNBAUM PIPELINE AND TOWN 'E' PIPELINE**

THIS ENCROACHMENT PERMIT executed this SEVENTH day of FEBRUARY, 2017, by and between OAKDALE IRRIGATION DISTRICT, an irrigation district organized and existing under the laws of the State of California, hereinafter referred to as "DISTRICT," and JOHN PETER BRICHETTO, TRUSTEE OF THE JOHN PETER BRICHETTO 2008 IRREVOCABLE TRUST DATED DECEMBER 24, 2008; JOHN MICHAEL BRICHETTO, TRUSTEE OF THE JOHN MICHAEL BRICHETTO 2012 IRREVOCABLE TRUST DATED DECEMBER 21, 2012; JOSEPH PAUL BRICHETTO, AS TRUSTEE OF THE JOSEPH PAUL BRICHETTO 2012 IRREVOCABLE TRUST DATED DECEMBER 21, 2012, ALL AS TENANTS IN COMMON, hereinafter referred to as "OWNER" sets forth Permits as follows:

WITNESSETH:

WHEREAS, the Board of Directors of the DISTRICT adopted the request for an Encroachment Permit on February 7, 2017, as shown in the Resolution attached hereto as **Exhibit "A."**

WHEREAS, DISTRICT occupies easements and fee-owned lands for its irrigation and drainage facilities, and

WHEREAS, OWNER'S property described in the attached **Exhibit "B"** (the "Subject Property") is subject to all or a portion of said easements, and

WHEREAS, OWNER has title to the Subject Property and wishes to encroach upon the Birnbaum Pipeline and Town 'E' Pipeline right-of-way with encroachments as follows:

1. Two (2) existing 10" 100 PSI PIP PVC private irrigation pipeline crossings on the Town "E" Pipeline.
2. One (1) existing 4" SCH. 40 PVC private agricultural filter station backflush

6. Ordinary Maintenance, Repair or Replacement. OWNER shall maintain and repair said encroachments at his sole cost and expense. Should OWNER neglect to promptly make repairs which impair the integrity and/or serviceability of DISTRICT facilities, DISTRICT may make repairs or have repairs made and OWNER shall pay all costs and expenses. Where necessary, and to the extent required to perform ordinary operation, maintenance, and reconstruction functions, DISTRICT may request, upon 30 days notice, the removal or relocation of portions of OWNER'S encroachments and OWNER shall perform the required work at no cost to DISTRICT.

For emergency purposes OWNER will be required to remove encroachments immediately upon request by DISTRICT. If it should be necessary to repair or replace DISTRICT facilities, DISTRICT is not liable for damages or resultant damages to the permitted encroachments within the DISTRICT'S easement. Further, the repair and replacement of OWNER encroachments following DISTRICT maintenance and reconstruction efforts shall be performed by OWNER and at the expense of OWNER.

THIS PERMIT shall be a covenant binding upon both DISTRICT and OWNER.

IN WITNESS WHEREOF, DISTRICT and OWNER have caused their names to be affixed.

OAKDALE IRRIGATION DISTRICT
"DISTRICT"

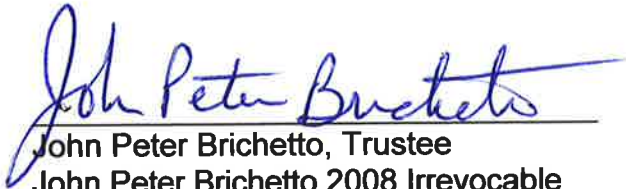
Steve Webb, President
Board of Directors

Date

Steve Knell, P.E.
General Manager/Secretary

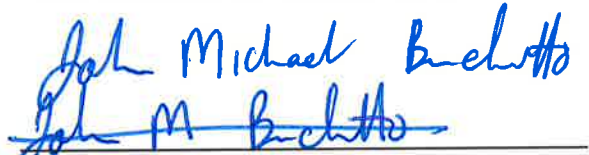
Date

"OWNER"



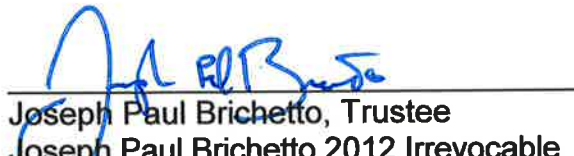
John Peter Brichetto, Trustee
John Peter Brichetto 2008 Irrevocable
Trust dated December 24, 2008

Date 1/27/17



John Michael Brichetto, Trustee
John Michael Brichetto 2012 Irrevocable
Trust dated December 21, 2012

Date 1/27/17



Joseph Paul Brichetto, Trustee
Joseph Paul Brichetto 2012 Irrevocable
Trust dated December 21, 2012

Date 1/27/17

Mailing Address: P.O. Box 11600
Oakdale, CA, 95361

SIGNATURES MUST BE NOTARIZED AND BE PER RECORDED DEED

CERTIFICATE OF ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California
County of **Stanislaus**

On Jan. 27, 2017 before me Carla Lillie, Notary Public,
personally appeared John Michael Brichetto

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal

Carla Lillie

Signature

(Seal)



CERTIFICATE OF ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California
County of **Stanislaus**

On Jan 27, 2017 before me Carla Lillie, Notary Public,
personally appeared Joseph Paul Brichetto

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

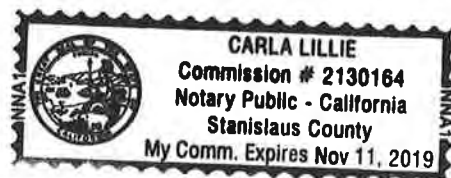
I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal

Carla Lillie

Signature

(Seal)



CERTIFICATE OF ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California
County of **Stanislaus**

On Jan. 27, 2017 before me Carla Lillie, **Notary Public**,
personally appeared John Peter Brichetto

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal

Carla Lillie

Signature

(Seal)



CERTIFICATE OF ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California
County of **Stanislaus**

On _____ before me _____, **Notary Public**,
personally appeared _____

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal

Signature

(Seal)

EXHIBIT "A"

**OAKDALE IRRIGATION DISTRICT
RESOLUTION NO. 2017-NIL**

**ENCROACHMENT PERMIT
ON THE BIRNBAUM PIPELINE AND TOWN 'E' PIPELINE**

APN: 063-005-004

WHEREAS, JOHN PETER BRICHETTO, TRUSTEE OF THE JOHN PETER BRICHETTO 2008 IRREVOCABLE TRUST DATED DECEMBER 24, 2008, JOHN MICHAEL BRICHETTO, TRUSTEE OF THE JOHN MICHAEL BRICHETTO 2012 IRREVOCABLE TRUST DATED DECEMBER 21, 2012, AND JOSEPH PAUL BRICHETTO, AS TRUSTEE OF THE JOSEPH PAUL BRICHETTO 2012 IRREVOCABLE TRUST DATED DECEMBER 21, 2012, ALL AS TENANTS IN COMMON are the titled owners of the property located in the Southeast 1/4 of Section 9, the Southwest 1/4 of Section 10, the North 1/2 of Section 16, and the Northwest 1/4 of Section 15, Township 3 South, Range 10 East, Mount Diablo Base and Meridian, in the unincorporated area of Stanislaus County, California; and

WHEREAS, JOHN PETER BRICHETTO, TRUSTEE OF THE JOHN PETER BRICHETTO 2008 IRREVOCABLE TRUST DATED DECEMBER 24, 2008, JOHN MICHAEL BRICHETTO, TRUSTEE OF THE JOHN MICHAEL BRICHETTO 2012 IRREVOCABLE TRUST DATED DECEMBER 21, 2012, AND JOSEPH PAUL BRICHETTO, AS TRUSTEE OF THE JOSEPH PAUL BRICHETTO 2012 IRREVOCABLE TRUST DATED DECEMBER 21, 2012, ALL AS TENANTS IN COMMON have requested an Encroachment Permit for:

1. Two (2) existing 10" 100 PSI PIP PVC private irrigation pipeline crossings on the Town "E" Pipeline.
2. One (1) existing 4" SCH. 40 PVC private agricultural filter station backflush discharge pipeline on the Birnbaum Pipeline.
3. One (1) existing 18" 100 PSI PIP PVC private irrigation pipeline crossing the Birnbaum Pipeline.
4. One (1) existing 10" 100 PSI PIP PVC private irrigation pipeline crossing the Birnbaum Pipeline.

WHEREAS, the Encroachment Permit has been signed by the titled owners.

NOW THEREFORE BE IT RESOLVED, that the provisions contained in the Encroachment Permit of the above-identified land have been accepted by the titled owners of said property, is hereby accepted by the District, and that the President be and is hereby authorized and directed to have the same recorded on the records of Stanislaus County, and that said Encroachment Permit in its entirety is incorporated herein by reference to this Resolution.

Upon Motion of Director _____ seconded by Director _____,
and duly submitted to the Board for its consideration, the above-titled Resolution was
adopted this seventh day of February, 2017.

OAKDALE IRRIGATION DISTRICT

Steve Webb, President
Board of Directors

Steve Knell, P.E.
General Manager/Secretary

EXHIBIT "B"

LEGAL DESCRIPTION FOR SUBJECT PROPERTY

All that certain real property situate in the County of Stanislaus, State of California, described as follows:

Parcel No. 1:

All that portion of real property in Thompson Rancho, being a portion of Section 15, Township 2 South, Range 10 East, Mount Diablo Base and Meridian, described as follows:

Beginning at a point on the section line between Sections 10 and 15, Township 2 South, Range 10 East, from which the section corner common to section 10, 11, 14 and 15 bears South 88 degrees 53' East, distance 73.89 chains; thence South 0 degrees 7' West 18.165 chains in Section 15; thence South 69 degrees 46' West 4.748 chains to the Eastern boundary line of the land formerly owned by W.A. Patterson; thence North 4 degrees 57' East 20.42 chains along said boundary line to the section line between said Sections 10 and 15; thence South 88 degrees 53' East 2.73 chains along said section line to the point of beginning.

Portion of APN 063-005-003

Parcel No. 3:

All that portion of real property in Thompson Rancho, being a portion of Section 15 and 16 in Township 2 South, Range 10 East, Mount Diablo Base and Meridian, described as follows:

Beginning at the quarter section corner on a line between Sections 15 and 16, Township 2 South, Range 10 East, Mount Diablo Base and Meridian, and running thence North 3-1/2 degrees East 45.82 chains to a post; thence South 84-1/4 degrees West 20.22 chains; thence South 77 degrees West 9.83 chains; thence South 74 degrees West 12.27 chains; thence South 87 degrees West 8.16 chains; thence South 83-1/2 Degrees West 14.66 chains to a post; thence South 36.00 chains to a post; thence South 89-3/4 degrees East 61-1/2 chains to the point of beginning.

Excepting therefrom the following portion thereof heretofore conveyed to L. F. Brichetto by deed recorded June 15, 1946 instrument number 14467, being a tract of land located in Section 16, Township 2 South, Range 10 East, Mount Diablo Base and Meridian:

Commencing at the Northwest corner of Lot 34 of the Oakdale Syndicate Tract as said lot as shown on the Map recorded in Volume 1 at Page 96 of Maps and running thence North 3802.00 feet to a point; thence South 65 degrees 00' 30" East 1100.33 feet; thence North 37 degrees 06' East 62.85 feet to the true point of beginning; thence North 31 degrees 54' West 182.00 feet; thence North 53 degrees 26' East 190.00 feet;

thence South 32 degrees 05' East 197.45 feet; thence South 58 degrees 06' West 190.00 feet to the true point of beginning.

Further excepting therefrom Parcel 1 as shown on that certain Parcel Map filed in the Office of the County Recorder of Stanislaus County, California, on May 24, 1985 in Volume 36 of Parcel Maps, at Page 71, and being a portion of Sections 15 and 16, Township 2 south, Range 10 East, Mount Diablo Base and Meridian.

And further excepting therefrom the south 20 feet of the East 1296 feet, located within Pontiac Street, as conveyed to the City of Oakdale by Deeds Recorded June 21, 1972 in Volume 2478 of Official Records, at page 821, and recorded May 3, 1973 in Volume 2551 of Official Records, at page 714, and recorded January 3, 1979 in Volume 3141 of Official Records, at Page 182.

And further excepting therefrom that 20 foot wide strip of land, located within Pontiac Street, as conveyed to Lodi Development Inc., a California Corporation, by deed recorded June 16, 1987 as instrument no. 92365 and conveyed to the City of Oakdale by Deed Recorded June 17, 1987 as instrument no. 92938.

Portion of APN: 063-005-003

Parcel No. 6:

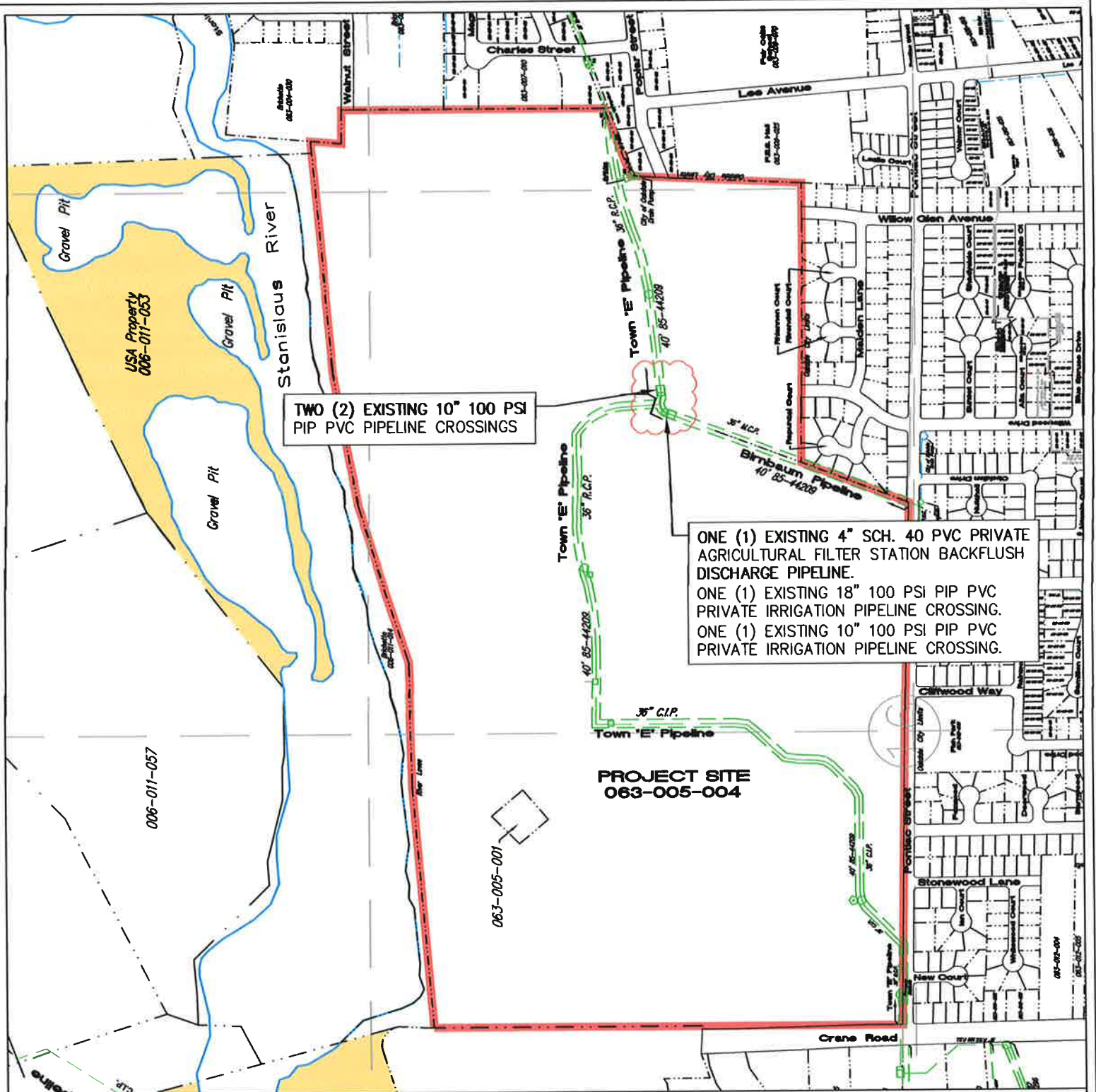
The following described tract of land located in Section 16, Township 2 South, Range 10 East, Mount Diablo Base and Meridian.

Commencing at the Northwest corner of Lot 34 of the Oakdale Syndicate Tract as said lot is shown on the Map Recorded in Volume 1 at Page 96 of Maps, Office of the County Recorder, Stanislaus County, State of California, and running thence North 3802.00 feet to a point, thence North 65 degrees 00' 30" East, 1100.33 feet, (erroneously stated as "South 65 degrees 00' 300" East, 1100.33 feet" in the deed to L. F. Bricchetto recorded June 15, 1946 in Volume 845 of Official Records, at Page 441, as Instrument No. 14467); thence North 37 degrees 06' East, 62.85 feet to the true point of beginning; thence North 31 degrees 54' West, 182.00 feet; thence North 53 degrees 26' East, 190.0 feet; thence South 32 degrees 05' East, 197.45 feet; thence South 58 degrees 06' West, 190.0 feet to the true point of beginning.

APN: 084-010/063-005-001-101

Altogether known as APN: 063-005-004.

END OF DESCRIPTION



TWO (2) EXISTING 10" 100 PSI
PIP PVC PIPELINE CROSSINGS

ONE (1) EXISTING 4" SCH. 40 PVC PRIVATE
AGRICULTURAL FILTER STATION BACKFLUSH
DISCHARGE PIPELINE.
ONE (1) EXISTING 18" 100 PSI PIP PVC
PRIVATE IRRIGATION PIPELINE CROSSING.
ONE (1) EXISTING 10" 100 PSI PIP PVC
PRIVATE IRRIGATION PIPELINE CROSSING.

PROJECT SITE
063-005-004

OAKDALE IRRIGATION DISTRICT
1205 EAST F STREET
OAKDALE CALIFORNIA 95361

PROJECT SITE MAP
ENCROACHMENT PERMIT
APN: 063-005-004



OID
OAKDALE IRRIGATION DISTRICT



DATE: JAN. 12, 2017
DRAWN BY: CMK
CHECKED BY: ECT

EXHIBIT "C"

NOT TO SCALE
SHEET 1 of 1



AGENDA ITEMS ACTION CALENDAR

BOARD MEETING OF FEBRUARY 7, 2017

BOARD AGENDA REPORT

| | |
|--------------|------------------|
| Date: | February 7, 2017 |
| Item Number: | 20 |
| APN: | 062-010-028 |

SUBJECT: REVIEW AND TAKE POSSIBLE ACTION TO REFUND VOLUMETRIC DELIVERY FEES ASSESSED FOR A SCHEDULED IRRIGATION EVENT ON OCTOBER 3, 2016 (APN: 062-010-028 – MAY)

RECOMMENDED ACTION: Board discretion

BACKGROUND AND/OR HISTORY:

Mary M. May, landowner of the parcel noted above, is requesting to be refunded \$14.88 for an irrigation event that was recorded by OID staff as occurring on 10/03/16 and totaling 1.74 acre-feet (7 hour irrigation at 3 cfs) of delivered water. Ms. May contacted the OID office on 11/17/2016 requesting this irrigation event be looked into as she actually did not irrigate this day and can recall conversing with Division 4 DSOs on a few separate occasions to ensure that the event was noted as a “pass” so water would not be delivered and she would not be billed.

Upon a preliminary investigation of her request Water department staff called Ms. May and let her know that based on the information provided in OID’s water delivery tracking software (Storm), it appeared that she had irrigated on 10/03/2016. Ms. May stated that she asked to “pass” on the water when she was originally notified and had also spoken to the DSO a few days after the irrigation event to ensure it was in fact marked as a pass in OID’s system. Ms. May went on further to say that the DSO ensured her that this was the case and she would not be billed for the event.

In an effort to research the issue further OID staff requested the phone numbers that Ms. May would have used to call the DSOs to allow staff to confirm receipt of a call on the Division 4 phone a few days after the irrigation event. Upon review the Division 4 phone records showed no incoming or outgoing calls for the numbers provided in the following days of the 10/03/2016 irrigation event. The phone records did however confirm a call was made to notify Ms. May of the irrigation event on 9/30/16 as is denoted by the DSOs notes in Storm. The next time the phone numbers provided by Ms. May appeared on the phone records were on 10/16/16 which is noted to be the date she was notified for the next rotational water delivery scheduled on 10/18/16. The phone records of the after-hours emergency phone were also reviewed, but no additional records were found.

After investigating phone records Ms. May was contacted again and a message was left stating the phone records were inconclusive and that when the Division 4 DSOs returned to work in January staff would question them regarding the event. Unfortunately both daytime DSOs were out on leave for several weeks at the time her original request was received.

On December 13, 2016 Mary submitted her bill payment along with the attached letter stating her dissatisfaction with being charged for the 10/03/16 irrigation event and OID’s inability to resolve the billing issue in a timelier manner. Upon return of the Division 4 DSOs in January neither DSO could recall Ms. May requesting to “pass” on the 10/03/16 irrigation event nor talking to her about the irrigation event after it had occurred.

The landowner is insistent that she did not irrigate and should be credited the \$14.88 for the irrigation event on 10/03/16. Staff made the water available, has no evidence that she requested to "pass" and is now unable to confirm that the water was never received as Ms. May is indicating. As such, the Board of Directors are being asked to consider her request for reimbursement for the volumetric water delivery fees associated with the scheduled irrigation event.

FISCAL IMPACT: \$14.88 (not including staff time for processing)

ATTACHMENTS:

➤ **Landowner Letter**

Board Motion:

Motion by: _____ **Second by:** _____

VOTE:

Webb (Yes/No) Doornenbal (Yes/No) Osmundson (Yes/No) Altieri (Yes/No) Santos (Yes/No)

Action(s) to be taken:

From: Mary M. May
4941 Webster Rd.
(720) 210-4102

13 Dec '16

To: DID

Although I've enclosed the full amount due on invoice, I take **STRONG** exception to the 10/03/16 charge for 7 hours.

Specifically, this was the one and only time I passed on the water. Not only did I advise Frank by phone that I would NOT take the water (in advance I contacted him), but I called after 10/3/16 to remind him NOT to charge me for the single time I passed all season.

2/

This bogus charge ended up on my invoice in spite of all my efforts to prevent this from happening. Even more disturbing is the fact that I was charged 7 hours which is not even my normal allotment!

Most disturbing of all is that the only 2 individuals @ OJD who could rectify this timely are out for ~ 6 weeks. OJD is a service industry, and I consider this a failure on OJD's part. For sending me to go through this goat rope because OJD botched this royally. Please fix this!
Thanks.

Down on OJD in Oakdale,
Mary M. May, Col, USAF retired

BOARD AGENDA REPORT

Date: February 7, 2017
Item Number: 21
APN: N/A

SUBJECT: REVIEW AND TAKE POSSIBLE ACTION TO APPROVE AMENDMENT NO. 03 TO WORK RELEASE NO. 009 TO PROFESSIONAL SERVICES AGREEMENT 2009-PSA-003 WITH CONDOR EARTH TECHNOLOGIES, INC. TO PROVIDE ADDITIONAL BIDDING SUPPORT FOR THE OLD SOUTH MAIN CANAL TWO-MILE BAR TUNNEL PROJECT

RECOMMENDED ACTION: Authorize General Manager to Execute Amendment No. 03 to Work Release No. 009 to Professional Services Agreement 2009-PSA-003

BACKGROUND AND/OR HISTORY:

Condor Earth Technologies (Condor) has assisted OID in all aspects of the Two Mile Bar Tunnel Project to date. The bid opening for this project occurred on Thursday, January 19th at 2:30 pm and at that time six bids were received and opened. OID staff and Condor are currently in the process of qualifying the lowest bid to be responsive and responsible. In conjunction, OID staff and Condor are addressing a bid protest that was received. The purpose for this amendment is for Condor to provide additional unanticipated research and data compilation on the two lowest bids and to provide bid protest support.

Amendment No. 03 will provide additional funds to complete the tasks noted above and includes funds for unanticipated costs so that staff and Condor can provide a recommendation to the Board at the February 21st meeting to award the bid to the lowest responsive and responsible bidder.

Based on the institutional knowledge Condor has pertaining to this Project, Staff recommends the Board authorize the General Manager to execute the Amendment No. 03 to Work Release No. 009 to Professional Services Agreement 2009-PSA-003 with Condor Earth Technologies.

FISCAL IMPACT: \$23,950.00 (Not to Exceed Amount)

ATTACHMENTS:

- Work Release No. 009 Amendment No. 03 including "Exhibit A"

Board Motion:

Motion by: _____ **Second by:** _____

VOTE:

Webb (Yes/No) Doornenbal (Yes/No) Osmundson (Yes/No) Altieri (Yes/No) Santos (Yes/No)

Action(s) to be taken:



Work Release No. 09 – Amendment No. 03
Final Design, Plans, Specifications, Engineer's Estimate,
Geotechnical Baseline Report and the Contract Documents for the
Two Mile Bar Tunnel

Description

As the final part of project development before the start of construction, this phase will complete the Final Design, Plans, Specifications, Engineer's Estimate, Geotechnical Baseline Report and the Contract Documents. Work Release No. 009 is issued to perform four (4) Tasks briefly identified in the following narrative. For more definition of the Tasks, refer to Exhibit "A" attached for the details.

Scope of Work

Provide the necessary resources to complete the Final Design and project documents as identified in the following four (4) Tasks:

- Task 1 90% Final Design – Complete the design, preparation of plans, and preparation of Technical Specifications for the Two-Mile Bar Tunnel. The scope for Task 1 is based on completion of the 50% design concept provided in Condor's report dated March 30, 2007.
- Task 2 90% Construction Cost Estimate – Prepare construction cost estimate for the 90% plans and specifications prepared in Task 1.
- Task 3 Geotechnical Baseline Report – Preparation of a Geotechnical Baseline Report (GBR) based off of the Geologic Data Report published March 30, 2007, and recently updated in November of 2012, with additional geophysical data and additional core holes.
- Task 4 Contract Documents – Preparation of the construction documents for bidding purposes which will include 100% final preparation of Plans and Specifications with an updated Cost Estimate.

Amendment No. 01

Provide the necessary resources to update the previously prepared (2013) Final Design, Plans and Specifications, Engineer's Opinion of Probable Costs, Geotechnical Baseline Report and Contract Documents, and provide assistance with Contractor Bidding. The Scope of Work for Amendment No. 01 is subdivided into four (4) primary Tasks:

- Task 1 100% Final Design and Plan Preparation **COMPLETED**
- Task 2 Update Engineer's Opinion of Probable Construction Costs (Construction Cost Estimate) **COMPLETED**
- Task 3 Update Geotechnical Data Report (GDR) and Geotechnical Baseline Report (GBR) **COMPLETED**

Task 4 Update Contract Documents **COMPLETED**

Task 5 Contractor Bidding Support **IN PROGRESS**

Amendment No. 02

The anticipated costs for tasks 1 thru 4 is over budget due to additional sub-consultant survey services, unanticipated modifications to the Drawings including downstream canal plug ramp and outlet pipe details, and additional time spent by senior staff to update the Engineer's Opinion of Probable Construction Costs and Contract Documents based on OId comments of the above. This extra work is primarily offset by the contingency. Addendum No. 2 primarily includes unanticipated additional hours for responding to Bidder questions and an additional Bidder's site visit.

Amendment No. 03

The original anticipated costs for task 5 lack in sufficient funds to cover the additional work to qualify the bidders as being responsive. Condor has been requested to conduct extensive research and data compilation above and beyond the original scope of work and to aid in addressing a bid protest.

Schedule

The Notice to Proceed will be issued on or before January 25, 2013. Based on this date for the Notice to Proceed a preliminary schedule will be as follows. A final schedule will be determined after the Kick-Off meeting has been completed.

- Task 1 Complete on or before April 19, 2013
- Task 2 Complete on or before May 31, 2013
- Task 3 Complete on or before May 31, 2013
- Task 4 Complete on or before June 28, 2013

Amendment No. 01 is to be initiated immediately and outlined in the attached "Exhibit A".

Amendment No. 02 is to be initiated immediately and outlined in the attached "Exhibit A".

Amendment No. 03 is to be initiated immediately and outlined in the attached "Exhibit A".

Pricing

Condor will perform the services on a Time and Material basis according to the attached Standard Fee Schedule to **Exhibit "A"**. The rates will be good through 2013. The estimated total fee costs are summarized as follows:

| | |
|---|--------------------|
| Task 1 – 90% Final Design | \$ 108,280.00 |
| Task 2 – 90% Construction Cost Estimate | \$ 16,410.00 |
| Task 3 – Geotechnical Baseline Report | \$ 14,810.00 |
| Task 4 – Contract Documents | \$ 44,490.00 |
| Contingency (5%) | <u>\$ 9,200.00</u> |
| Work Release No. 09 Not to Exceed | \$ 193,190.00 |

Amendment No. 01

| | |
|---|---------------------|
| Task 1 – 100% Final Design COMPLETED | \$ 28,575.00 |
| Task 2 – Update Construction Cost Estimate COMPLETED | \$ 13,135.00 |
| Task 3 – Update Baseline Geotechnical Report COMPLETED | \$ 7,075.00 |
| Task 4 – Update Contract Documents COMPLETED | \$ 21,920.00 |
| Task 5 – Contractor Bidding Support | \$ 14,370.00 |
| Contingency (5%) | <u>\$ 4,254.00</u> |
| | \$ 89,329.00 |
| Remaining Balance on WR No. 09 | <u>\$ 48,898.00</u> |
| Amendment No. 01 – Not to Exceed | \$ 40,431.00 |
| Amendment No. 02 – Not to Exceed | \$ 13,660.00 |
| Amendment No. 03 – Not to Exceed | \$ 23,950.00 |

This Not to Exceed amount cannot be exceeded without prior authorization from the District.

Terms and Conditions

All Terms and Conditions identified in **Professional Services Agreement 2009-PSA-003** will remain in effect for Work Release No. 09 Amendment No. 03.

When submitting the invoice, include the Contract, Work Release and Amendment Number on the invoice.

Oakdale Irrigation District

By: _____
Name: Steve Knell, P.E.
Title: General Manager
Date: _____

Condor Earth Technologies

By: _____
Name: Ronald L. Skaggs
Title: Vice President - Engineering
Date: _____



Exhibit "A"

CONDOR EARTH TECHNOLOGIES, INC.
21663 Brian Lane, P.O. Box 3905
Sonora, CA 95370
Phone 209.532.0361
Fax 209.532.0773
www.condorearth.com

Condor Project No. 3818G3/Task 5

January 31, 2017

Jason Jones
Support Services Manager
Oakdale Irrigation District
1205 East F Street
Oakdale, CA 95361

Subject: **Two-Mile Bar Tunnel Project**
Addendum for Contractor Bidding Support (Task 5)

Dear Mr. Jones:

Condor Earth (Condor) appreciates the interest of Oakdale Irrigation District (OID) in having us continue to assist you with the Two-Mile Bar Tunnel Project.

As of Condor's January 15, 2017 Invoice No. 74728, with the addition of OID Work Release No. 09, Amendment No. 02, our budget had about \$6,700 remaining. Since our Addendum dated December 27, 2016, Condor has provided additional unanticipated support for Contractor Bidding Services. Condor did not anticipate extensive research and data compilation on two bidders, as well as Bid Protest support.

This Addendum includes unanticipated additional hours for Bidding Services described above, as well as additional hours projected for completion of this portion of the project. The summary below captures unbilled time from our billing period January 9 through January 23, 2017, and estimated additional time to close out Task 5 (through anticipated Contract Award on February 22, 2017).

| | |
|---|-----------------|
| Pending fees for period ending 1/23/17 | \$10,650 |
| Estimated fees from 1/24/17 through task closeout | <u>\$20,000</u> |
| Subtotal of Remaining Additional Costs | \$30,650 |
| Remaining Authorized Project Budget | <u>\$6,700</u> |
| Total Additional Budget Request | \$23,950 |

If acceptable, please assign a Work Release with additional funds to cover this Addendum. Unless directed otherwise, the work will be performed as per this Addendum and our Professional Services Agreement with OID (2009-PSA-003).

Condor looks forward to continuing to work with OID on this project. Please call with any questions.

Respectfully,

CONDOR EARTH



Scott W. Lewis, CEG No. 1835
Principal Engineering Geologist
Project Manager



Ronald L. Skaggs, GE No. 2295
Principal Geotechnical Engineer
Vice President

Attachments

Budget Summary Fee Estimate

X:\Project\3000_prj\3818G OID 2-Mile Bar\3818G3 TMB Design and Construction\Contracts_Proposals_CEP\20170131 Addendum TMB Tunnel Bidding Support through 20170222.docx



Budget Summary
Oakdale Irrigation District
Two-Mile Bar Tunnel - Construction Documents and Contractor Bidding
2009-PSA-003 Amendment No. 5 - WR009 Amendment No. 001

| PHASE | TASK | CURRENT BUDGET | PREVIOUS BILLING | CURRENT BILLING | TOTAL BILLED | % BILLED | REMAINING |
|-----------------------|---|---------------------|--------------------|-----------------|--------------------|-------------|--------------------|
| 3818G3 | Task 1 - 100% Design | | | | | | |
| | -Professional Fees | \$27,875.00 | \$28,760.00 | \$0.00 | \$28,760.00 | | -\$885.00 |
| | -Equipment and Reimbursables | \$700.00 | \$3,156.41 | \$0.00 | \$3,156.41 | | -\$2,456.41 |
| | Subtotal | \$28,575.00 | \$31,916.41 | \$0.00 | \$31,916.41 | 112% | -\$3,341.41 |
| | Task 2 - Update Construction Cost Estimate | | | | | | |
| | -Professional Fees | \$13,110.00 | \$16,155.00 | \$0.00 | \$16,155.00 | | -\$3,045.00 |
| | -Equipment and Reimbursables | \$25.00 | \$0.00 | \$0.00 | \$0.00 | | \$25.00 |
| | Subtotal | \$13,135.00 | \$16,155.00 | \$0.00 | \$16,155.00 | 123% | -\$3,020.00 |
| | Task 3 - Update GBR & GDR | | | | | | |
| | -Professional Fees | \$6,325.00 | \$4,595.00 | \$0.00 | \$4,595.00 | | \$1,730.00 |
| | -Equipment and Reimbursables | \$750.00 | \$379.20 | \$0.00 | \$379.20 | | \$370.80 |
| | Subtotal | \$7,075.00 | \$4,974.20 | \$0.00 | \$4,974.20 | 70% | \$2,100.80 |
| | Task 4 - Update and Finalize Contract Docs | | | | | | |
| | -Professional Fees | \$11,145.00 | \$12,840.00 | \$0.00 | \$12,840.00 | | -\$1,695.00 |
| | -Equipment and Reimbursables | \$10,775.00 | \$9,828.58 | \$0.00 | \$9,828.58 | | \$946.42 |
| | Subtotal | \$21,920.00 | \$22,668.58 | \$0.00 | \$22,668.58 | 103% | -\$748.58 |
| | Subtotal | \$70,705.00 | \$75,714.19 | \$0.00 | \$75,714.19 | 107% | -\$5,009.19 |
| | Task 5 - Contractor Bidding | | | | | | |
| | -Professional Fees | \$27,270.00 | \$20,488.75 | \$0.00 | \$20,488.75 | | \$6,781.25 |
| | -Equipment and Reimbursables | \$760.00 | \$70.00 | \$0.00 | \$70.00 | | \$690.00 |
| | Subtotal | \$28,030.00 | \$20,558.75 | \$0.00 | \$20,558.75 | 73% | \$7,471.25 |
| | Contingency | \$4,254.00 | | | | | \$4,254.00 |
| CONTRACT TOTAL | | \$102,989.00 | \$95,723.40 | \$0.00 | \$95,723.40 | 93% | \$6,716.06 |

Charges include Invoice 74728 dated January 15, 2017

Task 5 Budget Increase per WR No. 09, Amendment No. 02

Approximate Unbilled Fees through 1/23/17 \$ 10,632.50 - \$3,916.44
Estimated fees through 2/22/17 \$ 20,000.00 - \$23,916.44
Total Additional Budget Request \$ (23,916.44)

BOARD AGENDA REPORT

Date: February 7, 2017
Item Number: 22
APN: N/A

SUBJECT: REVIEW AND TAKE POSSIBLE ACTION TO ADOPT A RESOLUTION AMENDING THE RESERVE POLICY TO INLCUDE A DEBT SERVICE RESERVE

RECOMMENDED ACTION: Approve

BACKGROUND AND/OR HISTORY:

At the November 16, 2016 Board Meeting, part of the 2017 Budget discussion was on "Looking Ahead to 2023".

The goals outlined were to:

1. Meet the needs of the WRP
2. Rebuild OID Infrastructure - Two-Mile Bar Tunnel (estimated cost \$15-\$20 M)
3. Modernize OID Water Delivery System – TCC implementation (estimated cost \$3M each phase)
4. Pay-off Debt of \$21M in 2023 +/-

To focus on goal #4, staff recommends establishing a Debt Service Reserve to begin setting aside funds, when available, to be in a position to pay-off its 2016 COP debt, without a premium, in 2023 +/-.

The funding of this reserve is at the sole discretion of the Board.

FISCAL IMPACT: NA

ATTACHMENTS:

- Slide from November 16, 2016 Board Meeting
- Resolution
- 2017 Reserve Policy

Board Motion:

Motion by: _____ **Second by:** _____

VOTE:

Webb (Yes/No) Doornenbal (Yes/No) Osmundson (Yes/No) Altieri (Yes/No) Santos (Yes/No)

Action(s) to be taken:

Looking Ahead to 2023

- Meet the needs of the WRP
- Rebuild OLD Infrastructure
 - Build a new 5,300 foot tunnel on South Main Canal downstream of Two-Mile Bar in 2017-2019
 - Estimated Cost \$15-\$20 million
- Modernize OLD Water Delivery System
 - Rubicon TCC Implementation (2017-2027)
 - Estimated Cost \$3 million each phase
 - Total of 5 phases, 1 every 2 years (+/-)
- Pay off Debt of \$21 million in 2023 +/-
 - Board - call provision on debt after 2023

**OAKDALE IRRIGATION DISTRICT
RESOLUTION NO. 2017-NIL**

**RESOLUTION ADOPTING
REVISION TO RESERVE POLICY
REPLACING RESOLUTION NO. 2014-82**

WHEREAS, the Board of Directors of the Oakdale Irrigation District ("District") approved a revision to the Reserve Policy to add a Debt Redemption Reserve. Government entities have constitutional authority under the California State Constitution, Article XIIIB, Section 5, to establish reserve funds as the districts deem reasonable and proper.

NOW, THEREFORE BE IT RESOLVED, that the Oakdale Irrigation District Board of Directors hereby adopts the revision to the Reserve Policy. This resolution will remain in effect until revocation by the Board of Directors of the Oakdale Irrigation District.

BE IT RESOLVED, that this resolution supersedes any other previous resolutions relating to the above subject matter.

Upon Motion of Director _____, seconded by Director _____, and duly submitted to the Board for its consideration, the above-titled Resolution was adopted this 7th day of February, 2017.

OAKDALE IRRIGATION DISTRICT

Steve Webb
President

Steve Knell, P.E.
Secretary

OAKDALE IRRIGATION DISTRICT MANUAL OF OPERATIONS

Subject: Reserve Policy

Responsible Party: Administration & Finance

PURPOSE

Special districts have constitutional authority under Article XIII B to establish reserve funds as the districts “deem reasonable and proper.” Therefore, the Oakdale Irrigation District’s (“District”) Reserve Policy has been developed to consider the level of reserves necessary to adequately provide for:

- Cash flow requirements.
- Contingencies for unforeseen operating or capital needs.
- Loss of significant revenue sources such as wholesale power income and property tax receipts.
- Economic uncertainties or other financial hardships.
- Credit worthiness.
- Unfunded mandates including costly regulatory requirements.

Reserve funds are not “surplus” funds, but necessary funds designated or restricted for various purposes important to the short- and long-term operations of the District. The District believes that a certain portion of its annual revenues should be held in reserve as part of its overall financial management strategy.

There are three major types of reserve funds:

- Designated funds are earmarked for purposes of funding new capital facilities, construction, repair or refurbishment of existing facilities, rate stabilization and operating reserves. These funds can be utilized at the discretion of the District. The Board of Directors (“Board”) can change fund designations at any time.
- Obligated funds are set aside to meet contractual financial commitments for services not yet fulfilled and purchases that will take place in the future. The Board has no discretion as to the use of these funds.
- Restricted funds are used strictly to meet requirements established by creditors, grant agencies or contributors, or law. The Board has no discretion as to the use of these funds.

Adequate levels of reserves are critical to the successful and stable operation of the District. Maintaining adequate reserves can render rate stabilization from year to year for customers and provides assurance that the District can respond to short-term emergencies, including costly regulatory requirements.

SUMMARY OF RESERVE FUNDS BY CATEGORY

Designated Reserves

- *Rate-Stabilization Reserve*

The District recognizes the need to earmark funds to maintain a prudent level of financial resources to protect against reducing service levels or raising charges and fees because of temporary revenue shortfalls or unpredicted one-time expenditures. These funds may be used at the District's discretion to address temporary cash flow shortages, emergencies, unanticipated economic downturns, and one-time opportunities.

All investment earnings on this fund shall remain in the General Fund for the purpose of funding the District's annual budget. This fund shall increase annually at year-end based on the Consumer Price Index for Pacific Cities and U.S. City Average (West) for the month of July for that year.

Reserve Levels: Maximum: 50% of the cost of service provided by District in its current operating budget.

Minimum: 10% of the cost of service provided by District in its current operating budget.

Funding source: 5% of District's annual Tri-Dam Project and Authority distribution revenues.

- *Operating Reserve*

The District recognizes the need to earmark funds to establish a reserve to provide funding for emergencies and natural disasters, such as drought, flooding, infrastructure failure, lawsuits, and legislative and regulatory requirements.

All investment earnings on this fund shall remain in the General Fund for the purpose of funding the District's annual budget. This fund shall increase annually at year-end based on the Consumer Price Index for Pacific Cities and U.S. City Average (West) for the month of July 1st that year.

Reserve Levels: Maximum: Twelve (12) months of operations and maintenance budget.

Minimum: Three (3) months of operations and maintenance budget.

Funding source: 5% of District's annual Tri-Dam Project and Authority distribution revenues.

- *Capital Replacement and Improvement Reserves*

The District recognizes the need to earmark funds for delivery infrastructure that must eventually be replaced, and for system improvements as supported by its Water Resource Plan such as modernization projects, regulating reservoirs, and conservation projects. Because the cost of replacing and improving upon infrastructure can be significant, the District desires to fund a portion of these future cash outlays on a regular basis. The District also recognizes that the cost and eligibility to borrow funds when needed are driven by market conditions that may or may not be advantageous or available to the District at the time asset replacement is needed.

All investment earnings on this fund shall remain in the General Fund for the purpose of funding the District's annual budget. This fund shall increase annually at year-end based on the Consumer Price Index for Pacific Cities and U.S. City Average (West) for the month of July for that year.

Reserve Levels: Maximum: In order to mitigate the need to fund the replacement of the District's current assets through borrowing, the maximum amount of reserve equals 50% of the accumulated depreciation balance.

 Minimum: The minimum amount shall equal one year of capital replacement spending as defined in the District's annual budget.

Funding source: 80% of District's annual water transfer sales.

- *Main Canal and Tunnel Replacement/Improvement Reserve*

The District recognizes the need to earmark funds for delivery infrastructure that must eventually be replaced and/or improved as supported by its Water Resource Plan such to minimize the risk of main canal and tunnel failure. Because the cost of replacing and improving upon infrastructure can be significant, the District desires to fund a portion of these future cash outlays on a regular basis. The District also recognizes that the cost and eligibility to borrow funds when needed are driven by market conditions that may or may not be advantageous or available to the District at the time asset replacement is needed.

Reserve Levels: Maximum: At the discretion of the Board

 Minimum: At the discretion of the Board

Funding source: At the discretion of the Board

- *Building and Facility Replacement Reserve*

The District recognizes the need to earmark funds to ensure that it has provided the inevitable need to reinvest in the assets of its facilities. Because the cost of replacing infrastructure can be significant, the District desires to fund a portion of these future cash outlays. The District also recognizes that the cost and eligibility to borrow funds when needed are driven by market conditions that may or may not be advantageous or available to the District at the time asset replacement is needed.

Reserve Levels: Maximum: At the discretion of the Board

Minimum: At the discretion of the Board

Funding source: At the discretion of the Board

- *Vehicle and Equipment Replacement Reserve*

The District recognizes the need to earmark funds to establish a reserve for planned replacement of vehicles and heavy equipment that have reached the end of their useful lives. This fund is utilized to cover equipment replacement by smoothing cash flows over a ten (10) year replacement program.

All investment earnings on this fund shall remain in the General Fund for the purpose of funding the District's annual budget. This fund shall increase annually at year-end based on the Consumer Price Index for Pacific Cities and U.S. City Average (West) for the month of July 1st that year.

Reserve Levels: Maximum: Not to exceed total accumulated depreciation for vehicles and equipment.

Minimum: Funds required for the following year's District budget.

Funding source: At year-end each year, the reserve will be funded from operating and non-operating revenues, in addition to 100% of the net proceeds of the sale of replaced vehicles and equipment.

- *Debt Service Reserve*

The District desires to earmark and build-up funds to establish a reserve fund for the early redemption its 2016 COP debt, without premium, on or about August 1, 2023. This reserve fund is not a requirement of the District bond indenture but provides for sound financial management and prudent long-range financial planning.

Reserve Levels: Maximum: \$21.0 million

Minimum: At the discretion of the Board

Funding source: At the discretion of the Board

- *Rural Water System Capital Replacement and Improvement Reserve*

The District recognizes the need to earmark funds for capital assets of its rural water system that must eventually be replaced or upgraded. Because the cost of replacing capital assets can be significant and because cash outlays for such assets occur infrequently, the District desires to fund a portion of these future cash outlays on a regular basis. The District also recognizes that the cost and eligibility to borrow funds when needed are driven by market conditions that may or may not be advantageous or available to the District at the time asset replacement or improvement is needed.

All investment earnings on this fund's balance shall be allocated to this fund on a quarterly basis. In addition, this fund shall increase annually at year-end based on the Consumer Price Index for Pacific Cities and U.S. City Average (West) for the month of July 1st that year.

Reserve Levels: Maximum: In order to mitigate the need to fund the replacement of the District's current assets through borrowing, the maximum amount of reserve equals 100% of the accumulated rural water system's depreciation balance.

Minimum: The minimum amount shall equal one year of capital spending as defined in the District's annual budget.

Funding source: 100% of the Rural Water Immediate Availability Charge and connection fees.

- *Rural Water System Operating Reserve*

The District recognizes the need to earmark funds to establish a reserve to provide funding for emergencies and natural disasters, such as earthquakes, well collapse, contamination, infrastructure failure, and legislative and regulatory requirements.

All investment earnings on this fund shall remain in the General Fund for the purpose of funding the District's annual budget. This fund shall increase annually at year-end based on the Consumer Price Index for Pacific Cities and U.S. City Average (West) for the month of July 1st that year.

Reserve Levels: Maximum: Twelve (12) months of operations and maintenance budget.

Minimum: Three (3) months of operations and maintenance budget.

Funding source: 25% of the Rural Water System's operating and non-operating revenues.

Obligated Reserves

The District recognizes that there may be potential need to set aside funds due to

contractual financial commitments, such as debt service, that may or may not take place in the future. Currently the District has no contractual financial commitments.

Restricted Reserves

- *Employee Compensation Absences Trust Fund*

The purpose of this trust fund is to accumulate the funds required to meet the contractual vacation and sick leave requirements of the District's active employees.

Reserve Levels: 100% of this liability and is adjusted annually due to changes in salaries and accrual levels.

Funding source: Operating and non-operating revenues.

PROCEDURES FOR USING RESERVE FUNDS

Current operating expenditures shall be funded with current net revenues. Reserves can be used to provide budgetary funding for the purposes for which the reserves were established as detailed above.

The Board will authorize the use of reserve funds during the District's annual budget process. Authorization for the use of reserve funds for unbudgeted projects during the year shall be approved by the Board.

PROCEDURE FOR MONITORING RESERVE LEVELS

The Finance Department shall perform a reserve analysis to be submitted to the Board upon the occurrence of the following events:

- District Board deliberation of the annual budget.
- Presentation of the Comprehensive Annual Financial Report.
- Mid-year budget review.
- When a major change in conditions occurs which threaten the reserve levels established within this policy.

**OAKDALE IRRIGATION DISTRICT
RESERVE FUND POLICY**

| RESERVE NAME | FUNDING SOURCE | RESERVE REQUIREMENTS MAXIMUM | RESERVE REQUIREMENTS MINIMUM |
|---|---|---|---|
| Rate-Stabilization Reserve | 5% of annual Tri-Dam Project & Authority distributions. | 50% of the cost of service provided in the District current operating budget. | 10% of the cost of service provided in the District current operating budget. |
| Operating Reserve | Projected \$450K based on \$9 million annually 5% of annual Tri-Dam Project & Authority distributions | \$4,500,000 based on 2006 budget Twelve (12) months of annual operations and maintenance budget. | \$900,000 based on 2006 budget Three (3) months of annual operations and maintenance budget. |
| Capital Replacement / Improvement Reserve | Projected \$450K based on \$9 million annually 80% of the District's annual water transfer sales. | \$6,000,000 based on 2006 budget. Three (3) years of projected CIP expenditures based on the Old Water Resources Plan. | \$1,500,000 based on 2006 budget. One year of minimum capital spending. |
| Main Canal and Tunnel Replacement/Improvement Reserve | Projected \$1.85 million based on current water sales contracts. As directed by Board of Directors based on annual net revenues. | \$18 million At the discretion of the Board | \$6 million At the discretion of the Board. |
| Vehicle and Equipment Replacement Reserve | Operating and non-operating revenues, in addition to the net proceeds of the sale of replaced vehicles and equipment. | 100% accumulated depreciation for vehicles and equipment. | One year of capital purchase spending (budget dependent) |
| Employee Compensation Absences Trust Fund | \$200K based on funding vehicle and equipment annual depreciation. Operating and non-operating revenues. | \$1.5 million 100% of year-end accrual commitment. | \$200K - \$750K None |
| Building and Facility Replacement Fund | \$10K - \$20K As directed by Board of Directors based on annual net revenues. | \$300K At the discretion of the Board | At the discretion of the Board. |
| Rural Water System Replacement/Improvement Reserve | 100% of the Rural Water Immediate Availability Charges and Connection Fees. Projected \$80K | 100% of Rural Water assets net book value. \$1.0 million | One year of capital spending (budget dependent) \$50K - \$350K |
| Rural Water System Operating Reserve | 25% of annual Rural Water operating and non-operating revenues | Twelve (12) months of annual operations and maintenance budget. | Three (3) months of annual operations and maintenance budget. |
| Debt Service Reserve Fund | Projected \$50K based on \$200 annually As directed by Board of Directors based on annual net revenues. | \$200K At the discretion of the Board | \$50K \$21 million |

BOARD AGENDA REPORT

Date: February 7, 2017
Item Number: 23
APN: N/A

SUBJECT: REVIEW AND TAKE POSSIBLE ACTION TO APPROVE A FUND TRANSFER TO DESIGNATED RESERVES

RECOMMENDED ACTION: Approve recommended fund transfers

BACKGROUND AND/OR HISTORY:

Reserve funds are not "surplus" funds, but necessary funds designated for various purposes important to the short- and long-term operations of the District. The District believes that a certain portion of its annual revenues should be held in reserve as part of its overall financial management strategy.

Designated reserve funds are funded and utilized at the discretion of the Board.

During the 2017 Budget discussion, staff presented a Cash and Investment projection for the year ending December 31, 2017. This projection recommended transfer of funds from the General Fund to several Designated Reserve Funds.

Attached is Staff's transfer to reserve funds recommendation.

FISCAL IMPACT: Unknown

ATTACHMENTS:

- OLD Cash and Investments Projection

Board Motion:

Motion by: _____ **Second by:** _____

VOTE:

Webb (Yes/No) Doornenbal (Yes/No) Osmundson (Yes/No) Altieri (Yes/No) Santos (Yes/No)

Action(s) to be taken:

OAKDALE IRRIGATION DISTRICT
CASH AND INVESTMENTS
PROJECTED FOR YEAR ENDING 12/31/2017

| | (in thousands) | | | | | % Funded of Maximum | Fund Balance Policy | |
|--|----------------------|----------------------|-------------------------|--|---------------------------------|------------------------|---------------------|-----------|
| | Actual 12/31/2015 | Actual 12/31/2016 | Projected 12/31/2017 | Recommended Transfer to Reserves | 12/31/2017 after transfer | | Minimums | Maximums |
| General Fund balance | \$ 8,479 | \$ 25,456 | \$ 27,541 | \$ (19,000) | \$ 8,541 | | | |
| <u>Anticipated Reserve Fund balances:</u> | | | | | | | | |
| Rate-Stabilization Reserve Fund | 1,388 | 1,388 | 1,388 | 1,000 | 2,388 | 53.1% | \$ 900 | \$ 4,500 |
| Operating Reserve Fund | 3,738 | 3,738 | 3,738 | - | 3,738 | 62.3% | 1,500 | 6,000 |
| Capital Replacement/Improvement Reserve Fund | 18,000 | 18,000 | 18,000 | - | 18,000 | 100.0% | 6,000 | 18,000 |
| Main Canal and Tunnel Repl./Impr. Reserve Fund | 8,064 | 8,064 | - | 12,000 | 12,000 | n/a | n/a | n/a |
| Vehicle and Equipment Replacement Reserve Fund | 487 | 487 | 487 | - | 487 | 32.5% | 200 | 1,500 |
| Employee Compensated Absences Trust Fund | 179 | 179 | 179 | - | 179 | 59.7% | n/a | 300 |
| Building & Facilities Reserve | 475 | 475 | 475 | - | 475 | n/a | n/a | n/a |
| Rural Water Repl./Impr. Reserve Fund | 747 | 753 | 753 | - | 753 | 75.3% | 50 | 1,000 |
| Debt Service Reserve Fund (new) | - | - | - | 6,000 | 6,000 | 28.6% | n/a | 21,000 |
| TOTAL ANTICIPATED CASH ON HAND | \$ 41,557 | \$ 58,540 | \$ 52,561 | \$ - | \$ 52,561 | | \$ 8,650 | \$ 52,300 |

BOARD AGENDA REPORT

Date: February 7, 2017
Item Number: 24
APN: N/A

SUBJECT: REVIEW AND TAKE POSSIBLE ACTION TO ADOPT A RESOLUTION ACCEPTING DEPARTMENT OF WATER RESOURCES PROPOSITION 1 WATER USE EFFICIENCY GRANT FUNDS AND AUTHORIZE GENERAL MANAGER TO EXECUTE COST-SHARE COMMITMENT LETTER

RECOMMENDED ACTION: Approve

BACKGROUND AND/OR HISTORY:

OID's Phase 1 Total Channel Control System Modernization Project was selected as 1 of the 38 projects to be awarded grant funding from the 2015 Proposition 1 Agricultural Water Use Efficiency Grants. The Department of Water Resources (DWR) has now assigned a Grant Manager to the project to facilitate the funding process and draft an agreement. The Grant Manager is currently in the process of drafting a scope of work inclusive of the project goal, objectives, tasks to be performed, timeline, expected benefits, monitoring plan and budget. As an attachment to the draft grant agreement, DWR requires a copy of a signed Resolution indicating OID's acceptance of the grant and intent to enter into an agreement. In addition, a cost-share commitment letter signed by OID's designated authority has also been requested. Drafts of both documents are attached for review and clarification.

Staff recommends that the Board authorize the General Manager to execute the cost-share commitment letter and adopt a resolution accepting the DWR Prop 1 grant funds.

FISCAL IMPACT: \$3.5 million (A total project cost of \$6.5 million with \$2.97 million in grant funding)

ATTACHMENTS:

- Draft Resolution
 - Draft Letter of Commitment
-

Board Motion:

Motion by: _____ **Second by:** _____

VOTE:

Webb (Yes/No) Doornenbal (Yes/No) Osmundson (Yes/No) Altieri (Yes/No) Santos (Yes/No)

Action(s) to be taken:

**OAKDALE IRRIGATION DISTRICT
RESOLUTION NO. 2017-NIL**

**RESOLUTION OF THE BOARD OF DIRECTORS OF
OAKDALE IRRIGATION DISTRICT ACCEPTING CALIFORNIA
DEPARTMENT OF WATER RESOURCES
PROPOSITION 1 WATER USE EFFICIENCY GRANT FUNDS**

WHEREAS, the Oakdale Irrigation District submitted an application to the Department of Water Resources for funding for the Phase 1 Total Channel Control System Modernization Project to improve water use efficiency in the Oakdale Irrigation District service area,

WHEREAS, Oakdale has been notified that its application for a grant under the State of California Proposition 1 Water Use Efficiency Grant Program has been selected for funding, and

NOW, THEREFORE, be it resolved, that the Oakdale Irrigation District Board of Directors accepts the Grant funds and designates the General Manager Steve Knell to sign a contract on behalf of the District and designates the Water Operations Manager Eric Thorburn, as the District's representative to sign the progress reports and approve reimbursement claims.

Upon Motion of Director, seconded by Director, and duly submitted to the Board for its consideration, the above-titled Resolution was adopted this 7th day of February 2017, by the following vote:

Ayes:
Noes:
Absent:

OAKDALE IRRIGATION DISTRICT

Steve Webb
President

Steve Knell, P.E.
General Manager/Secretary



February 7, 2017

Project Title: Phase 1 Total Channel Control System Modernization Project

Grantee: Oakdale Irrigation District

Cost-Share Commitment Amount: \$3,537,597

Subject: Letter of Commitment to Provide Cost-Share Funds

Following the Department of Water Resources (DWR) grant award of \$2,972,770, the Oakdale Irrigation District is hereby committing to implement Phase 1 of the Total Channel Control Modernization Project. This letter serves as a commitment of \$3,537,597 to ensure successful implementation of this project. These cost share funds are all from non-state funding. No part of this cost-share will be used as matching funds for any other project.

Oakdale Irrigation is a Special District that will lead the project and be responsible for all cost-sharing expenditures.

As required by the grant agreement with DWR, Oakdale Irrigation District will be responsible for reporting cost-share expenditures in the project quarterly progress reports.

OAKDALE IRRIGATION DISTRICT

By: _____
Steve Knell, P.E., General Manager

Dated: _____

Approved:

[Name and Title

Dated: _____

BOARD AGENDA REPORT

Date: February 7, 2017
Item Number: 25
APNs: N/A

**SUBJECT: REVIEW AND TAKE POSSIBLE ACTION TO ADOPT RESOLUTION AMENDING
SUBDIVISION PARCEL MAP POLICY**

RECOMMENDED ACTION: Approve

BACKGROUND AND/OR HISTORY:

The Subdivision Map Act (California Government Code Section 66410 et seq.) provides local governments with the authority necessary to regulate and control the design and improvement of land during the creation of a Subdivision Map and a Parcel Map. The Oakdale Irrigation District's (OID or District) Subdivision Parcel Map Policy (Policy) was put in place in accordance with and pursuant to the Subdivision Map Act to provide staff with guidelines to work cooperatively with landowners and developers through their proposed projects while protecting the interest of the District and the District's constituents. Based on experience with enforcement of the Policy, most specifically since the initiation of the Water Conservation Act of 2009, staff is recommending a few minor modifications to help ensure equitable and reasonable expectations from each landowner or developer.

In compliance with the requirements of the Water Conservation Act of 2009 (Act) OID began volumetrically tracking and billing for water deliveries during the 2016 irrigation season. While OID has the infrastructure in place to do so, the Act requires measurement devices to ultimately be installed at each delivery point. OID's Agricultural Water Management Plan (AWMP) contains a schedule and budget specific to this task which allows OID to remain compliant with the Act while this work is completed.

The current Subdivision Parcel Map Policy requires new parcels to bear the costs of installing measurement devices at all existing delivery points to the lands being developed as a condition of approval prior to each newly created parcel being connected. In addition the Policy requires that lands being developed utilizing a District pipeline as a service line (i.e. clover valves on a District pipeline) reconfigure the water delivery to a single point of delivery at the developer's expense. In many cases parcels have multiple turnouts and/or there are multiple properties being served by one or more turnout. As a result these improvements are often times found to be cost prohibitive for a project (parcel split, lot line adjustment, etc.) that happens to be proposed on a property without a measureable turnout already in place.

If the revisions proposed in the attached Draft Revised Subdivision Parcel Map Policy were to be approved, the measurement requirement on existing delivery points would no longer apply, but landowners and developers would still be required to continue to utilize the historical points of delivery unless otherwise approved by the Board of Directors. All new or additional approved points of delivery would be required to be measureable as per District standards and constructed at the expense of the landowner or developer.

Implementation of these revisions would allow OID to continue to take corrective action at each of the remaining unmeasurable turnouts in accordance with the schedule outlined in the AWMP and prevent cost prohibitive project requirements for landowners and developers within the OID service area.

FISCAL IMPACT: Unknown

ATTACHMENTS:

- Draft Revised Subdivision Parcel Map Policy
- Resolution 2017-NIL

Board Motion:

Motion by: _____ **Second by:** _____

VOTE

Webb (Yes/No) Doornenbal (Yes/No) Osmundson (Yes/No) Altieri (Yes/No) Santos (Yes/No)

Action(s) to be taken:

OAKDALE IRRIGATION DISTRICT SUBDIVISION PARCEL MAP POLICY

In accordance with the Subdivision Map Act (California Government Code Section 66410 et seq.), a Parcel Map is distinguished from a Subdivision Map by the number of parcels created and its designation when submitted by the appropriate lead agency for review. A Parcel Map can create up to 4 new parcels plus a remainder. A Parcel Map can create more than 4 parcels, and a remainder, if the parcels are 40 acres or greater in size or has a zoning designation of Commercial or Industrial. A Subdivision Map creates 5 or more parcels.

Pursuant to California Law, a parcel map is required when:

1. The land before division contains less than five (5) acres, each parcel created by the division abuts upon a maintained public street or highway and no dedication or improvements are required, or
2. Each parcel created by the division has a gross area of twenty (20) acres or more and has an approved access to a maintained public street or highway, or
3. The land consists of a parcel or parcels of land having approved access to a public street or highway which comprises part of a tract of land zoned for industrial or commercial development, and which has been approved as to street alignments and widths, or
4. Each parcel created by the division has a gross area of not less than forty (40) acres or is not less than a quarter of a quarter-section.

The following are the requirements, recommendations and considerations from the Oakdale Irrigation District (District) regarding development of subdivisions and parcel maps within the District's water service area in accordance with and pursuant to the Subdivision Map Act.

POLICY STATEMENT-OVERVIEW

All policies of Oakdale Irrigation District (District) are written to protect the interests of our existing rate payers. Specific to this Subdivision Parcel Map Policy is the District's intent to cooperatively work with all landowners to exercise their full property rights but this cannot occur at the expense or forfeiture of any district or constituent rights. Should a landowner or Developer have a disagreement with this policy, its language interpretation or application; those disagreements not resolved by staff, shall be brought to the Board of Directors for resolution.

REQUIREMENTS- GENERAL

1. The District requires written, recorded easements for all of its facilities within the development area with the recorded instrument number noted on Parcel and Final (Subdivision) Maps.
2. The District requires that its irrigation and drainage easements be clearly identified on recorded Parcel and Final (Subdivision) Maps. Any proposed easements due to relocation requests shall also be identified.
3. The District requires that existing irrigation pipelines, canals, ditches, structures, turnouts and drains on the created parcels (both District and Private) be shown on the Parcel and Tentative Subdivision Maps for review purposes.
4. The District requires full, unencumbered access, as determined solely by the District, to both sides of its facilities and will rehabilitate, at its cost, those facilities within its control that do not meet that standard. This work shall be performed by the District after receipt of recorded easements.
5. Relocation of District facilities to the benefit of the development must be coordinated and approved by the District. The District will not allow District facilities to be installed within roadways. The District shall be contacted for current Policy and preferred alternatives. All costs associated with design, approval and analysis of relocations, including reasonable attorney and consultant fees, shall be at the Developer's expense.
6. All irrigation facilities to the benefit of the development shall be built off the District's easements and rights-of-way.
7. The District shall not provide water to ponds except as approved by the Board of Directors.
8. Pre-consultation is recommended with District staff *before* the Tentative Map stage.

REQUIREMENTS-IRRIGATION

1. No additional irrigation delivery connections will be provided as a result of development unless approved by the Board of Directors. New points of delivery as approved by the Board shall be **measurable, as per District standards, and constructed** at the expense of the Developer ~~and shall be subject to a new service connection charge and water rate to be determined by the Board of Directors.~~

~~For agricultural lands that continue to be farmed, the District shall make available a consensual lien process to defer the cost of new delivery installations until such time as the parcels are sold.~~

2. The historical water delivery point(s) for the developed property will continue to be the point(s) of diversion for the development. ~~All existing points of delivery which do not meet current District standards shall be replaced at the expense of the Developer.~~
3. The historical water delivery volume for the developed property will not increase as a result of development ~~without prior approval of the District Engineer. All points of delivery shall be measurable, as per District standards.~~
4. The historical water delivery point and flow volumes will be determined by the District. The District may, at its sole discretion, reduce the number of historical delivery points on any development.

~~5. Lands being developed which are currently using the District pipeline as a service line shall reconfigure the delivery of water to a single point of delivery compliant with existing District standards.~~

5. Parcels within the proposed development that continue to irrigate shall have water made available under one of three options;

Option 1: An independent delivery system to each parcel. Each Parcel to be served by a single pipeline with its beginning at a cluster well or sump provided at the historical point of delivery. ~~The District has standard plans available for this purpose.~~

Option 2: A single pipeline that serves multiple properties with its beginning at the historical point of delivery. ~~The District has standard plans available for this purpose. This Option is only available for developments operating under an Improvement District (Water Code §23600) arrangement with the OID.~~

Option 3: As defined under Requirements-Irrigation, point No. 1.

6. Parcel Maps and Subdivisions that propose parcels less than ten (10) acres (gross) in size shall be approved by the Board of Directors with regards to water service requirements. Special measures may be required due to the demands of small parcels. These developments and their associated mitigated measures must be reviewed by District staff and approved by the Board of Directors.
7. If parcels created by a Parcel Map or Subdivision Map choose not to irrigate, the Developer may apply to the District for a Surface Water Irrigation Service Abandonment and Quitclaim Agreement, to be approved by the District Board of Directors.
8. California Water Code requirements will be enforced on each irrigated parcel to ensure the reasonable and beneficial uses of water. Parcels or lots within

developments, which have not shown a reasonable standard of care in the preparation for the receipt of irrigation water, as determined by the District, will not be permitted to irrigate or receive water.

REQUIREMENTS- DRAINAGE

1. All drainage from lands that discharge to a District facility shall be under an approved District drainage agreement and compliant with existing District policy. OID shall not accept any additional drainage resulting from development into its system.
2. A pre and post development analysis of the hydrology by a licensed engineer shall be submitted to support any proposed actions taken regarding drainage not compliant with current district policy.
3. Developments that have on-site retention ponds compliant with County standards are exempt from the requirement of having a District drainage agreement.

REQUIREMENTS – EASEMENTS AND ENCROACHMENTS

1. Encroachment Agreements are required for any existing encroachments or proposed improvements within the current or requested District easement.
2. The District may require that its easements, rights-of-way, and fee title property be fenced to District Standards. The need for fencing will be evaluated on a case by case basis. This cost shall be borne by the Developer/Landowner.
3. Access gates and cross-fencing that does not impact District operations and maintenance and are not burdensome on the District may be permitted under an Encroachment Agreement.
4. For agricultural lands that continue to be farmed in the manner they have historically, the District shall make available a consensual lien process to defer the cost of fencing until such time as the parcels are sold.
5. Existing District facilities within a public road right-of-way shall be relocated into a right-of-way or easement dedicated to the District.
6. Standard Easement widths for District facilities shall be:

| | | |
|--------------------------------|----------|-------------------------|
| Main Canals | 100 foot | centered on canal |
| Canals/Drains | 60 foot | centered on canal/drain |
| Pipelines | 30 foot | centered on pipeline |
| Pipelines adjacent to roadways | 20 foot | |
| Pipelines adjacent to PUE | 15 foot | |
| Pump Sites | 40 foot | square centered on pump |

7. Easement widths for joint projects shall meet the above minimum easement widths plus any additional easement width that may be required based on the specific project uses or as approved by the Board of Directors.
8. If an existing District facility is not centered on the property boundary between two properties, the District may require an easement width based on the distance to the centerline of the District facility.

RECOMMENDATIONS AND CONSIDERATIONS

1. The Developer should provide private irrigation easements for said properties to insure that existing downstream users can have access to irrigation water and can irrigate or continue to irrigate.
2. The Developer should provide private drainage easements for the benefit of upstream parcels that have historically drained across newly created parcels.
3. If, upon review, the District determines that parcels created in a Parcel Map or Subdivision cannot irrigate efficiently, based on poor grading and planning, irrigation water will not be delivered until the situation is corrected to the sole satisfaction of the District.
4. "Improvement District" formation should be considered as a mechanism to ensure the responsible long-term operation and maintenance of private irrigation and drainage systems and as a means of irrigating and draining parcels or lots developed under the ten (10) acre minimum.
5. The District shall require a Developer Agreement before any work can be done on District facilities. Developer Agreements require a retainer for staff preparation time and additional related costs reasonably incurred by the District.
6. The District would consider financially participating in conjunctive use reservoirs constructed to serve the irrigation needs of the development.

**OAKDALE IRRIGATION DISTRICT
RESOLUTION NO. 2017-NIL**

**SUBDIVISION PARCEL MAP
POLICY (AMENDED)**

WHEREAS, the Board of Directors of the Oakdale Irrigation District ("District") adopted a Subdivision Parcel Map Policy on September 7, 2004, which was subsequently amended on September 20, 2005.

WHEREAS, the Subdivision Map Act (California Government Code Section 66410 et seq.) provides government with the authority necessary to regulate and control the design and improvement of land during the creation of a subdivision map and a parcel map. The Oakdale Irrigation District's Subdivision Parcel Map Policy was put in place in accordance with and pursuant to the Subdivision Map Act to provide staff with guidelines to work cooperatively with landowners and developers while protecting the interests of the District and the District's constituents.

WHEREAS, the District desires to amend the Subdivision Parcel Map Policy.

NOW, THEREFORE BE IT RESOLVED, that this resolution supersedes any other previous resolution relating to the above subject matter.

Upon Motion of Director, seconded by Director, and duly submitted to the Board for its consideration, the above-titled Resolution was adopted this 7th day of February 2017, by the following vote:

Ayes:
Noes:
Absent:

OAKDALE IRRIGATION DISTRICT

Steve Webb, President
Board of Directors

Steve Knell, P.E.
General Manager/Secretary



DISCUSSION ITEMS

**BOARD MEETING OF
FEBRUARY 7, 2017**

DISCUSSION ITEM

| | |
|--------------|------------------|
| Date: | February 7, 2017 |
| Item Number: | 26 |
| APN: | N/A |

SUBJECT: DISCUSSION ON DISTRICT'S INVESTMENT PORTFOLIO AS OF DECEMBER 31, 2016

BACKGROUND:

Cori Farwell, Senior Fixed Income Funds Manager, with HighMark will update the Board on the District's investment portfolio for year-end 2016.

Liquidity Portfolio Review December 31, 2016

Presented to: Oakdale Irrigation District

Date: February 7, 2017

Presented by: Cori Farwell



Table of Contents

| | | |
|-------------|--|----|
| I. | Investment Introduction and Background | |
| | HighMark Contact List | 3 |
| | HighMark Profile | 4 |
| | Investment Management Team | 5 |
| II. | Investment Portfolio Review | |
| | Portfolio Characteristics | 6 |
| III. | Current Portfolio Statistics and Statements | |
| | Sector and Industry Profiles | 7 |
| | Maturity and Rating Profiles | 8 |
| IV. | Portfolio Returns | |
| | Performance Summary | 9 |
| | Historical U.S. Treasury Yield Curves | 10 |
| | U.S. Interest Rate Trends | 11 |
| V. | Investment Highlights | |
| | Economic Perspectives | 12 |
| VI. | Statements | |
| | Portfolio Statement | |

HighMark Contact List

Cori Farwell

Vice President & Senior Portfolio Manager
HighMark Capital Management
350 California Street, Suite 1600
San Francisco, CA 94104
415.705.7577
cori.farwell@highmarkcapital.com

David Wines

President and CEO
Chief Fixed Income Investment Officer
HighMark Capital Management
350 California Street, Suite 1600
San Francisco, CA 94104
415.705.7565
david.wines@highmarkcapital.com

Dorothy Cooney

Vice President & Senior Portfolio Manager
HighMark Capital Management
350 California Street, Suite 1600
San Francisco, CA 94104
415.705.7569
dorothy.cooney@highmarkcapital.com

HighMark Profile

HighMark Capital Management, Inc.

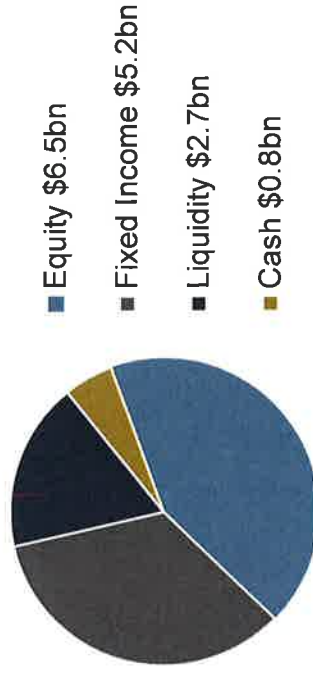
- SEC Registered Investment Adviser
- Subsidiary of MUFG Union Bank, N.A.
- Experienced teams:
 - 53 investment professionals
 - 22 years average experience
- 30 professionals hold the Chartered Financial Analyst® (CFA) designation
- Main office in San Francisco; Regional offices in Seattle, Tacoma, Portland, Monterey, Montecito, Beverly Hills, Los Angeles, Irvine, La Jolla, and San Diego

Institutional Short-Term Fixed Income Management

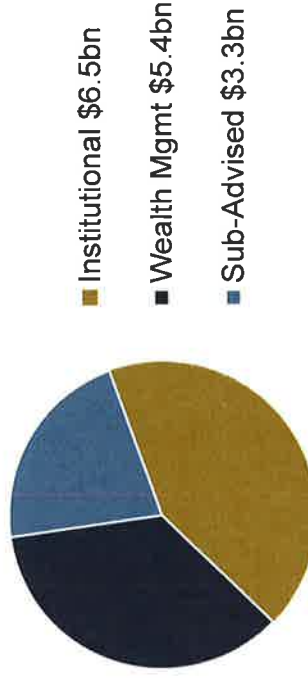
- Specialists in short-term fixed income management (tax and tax-exempt) to institutions since 1987
- Including \$2.7 billion in separately managed accounts
- Active management utilizing disciplined investment process
- Experienced, seasoned investment management team supported by full in-house research capability
- Client service team - providing comprehensive and concise statements

Assets Under Management \$15.2 Billion as of December 31, 2016

Asset Class



Client Base



Liquidity Management Team

David Wines, CFA, President and CEO
Chief Fixed Income Officer
415.705.7565



- Investment experience since 1985
- Tenure with HighMark since 2004
- BS - Finance, University of Oregon
- MBA - Management, Golden Gate University
- Previous experience: AssetMark Investment Services, Deutsche Asset Management, Stone & Youngberg

Cori Farwell, Vice President
Senior Portfolio Manager
415.705.7577



- Investment experience since 1992
- Tenure with HighMark since 2002
- BS - Business Administration, California State University, San Francisco
- MBA - Finance, St. Mary's College
- Previous experience: Montgomery Asset Management, Merrill Lynch

Dorothy Cooney, Vice President
Senior Portfolio Manager
415.705.7569



- Investment experience since 1987
- Tenure with HighMark since 1997
- BA - Political Science, University of Colorado
- MBA - Marketing Management, University of San Francisco
- Previous experience: Furman Selz LLC, Donaldson, Lufkin & Jenrette Securities Corp.

Jefferey Nevares, Vice President
Portfolio Manager
415.705.7575



- Investment experience since 2001
- Tenure with HighMark since 2001
- BS - Business Administration, California State University, Hayward
- MS - Financial Analysis, University of San Francisco

Portfolio Characteristics

As of December 31, 2016

| | Market Value (A) | Weighted Average Yield (B) | Weighted Average Maturity (C) |
|------------------------------------|------------------------|----------------------------|-------------------------------|
| Oakdale Irrigation District | \$53,221,970.98 | 0.67% | 0.21 years |
| 3 Month T-Bill* | N/A | 0.49% | 0.25 years |
| 6 Month T-Bill* | N/A | 0.61% | 0.50 years |
| 1-3 Yr Treasury* | N/A | 1.18% | 1.94 years |

(A) Including accrued interest

(B) Bond-equivalent yield to maturity, using original purchase

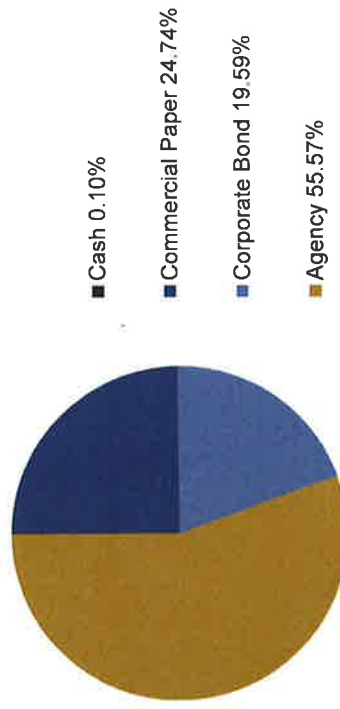
(C) Weighted average maturity is calculated based on the time effective maturity for mortgage-backed and asset backed securities

* Source: Bank of America Merrill Lynch Indices

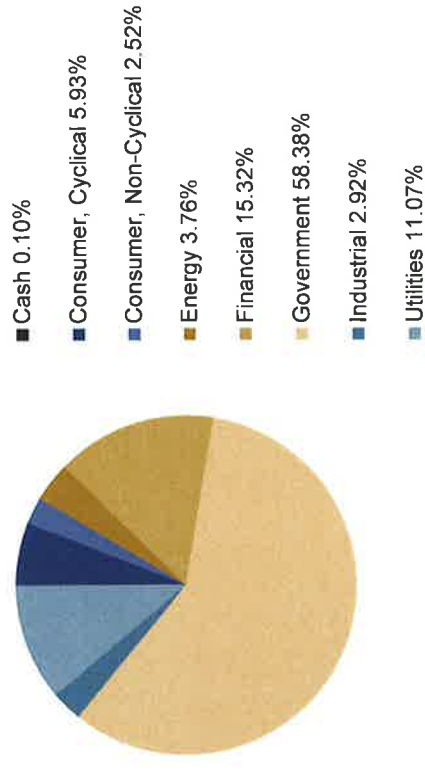
Sector and Industry Profiles

As of December 31, 2016

Sector Profile



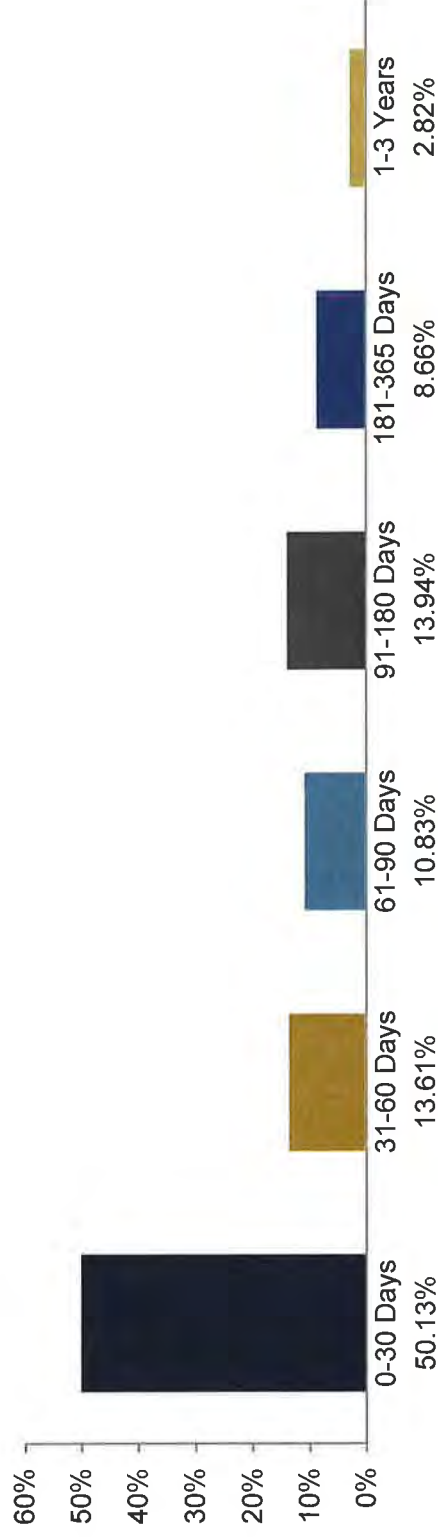
Industry Profile



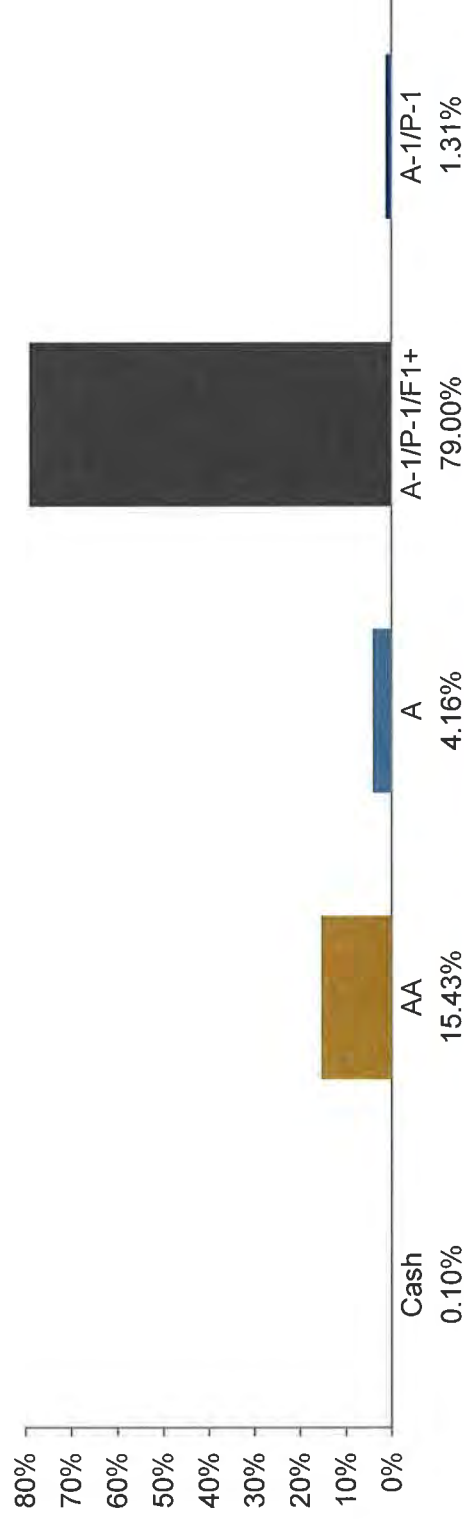
Maturity and Ratings Profile

As of December 31, 2016

Maturity Profile (Average Maturity Date 3/18/2017)

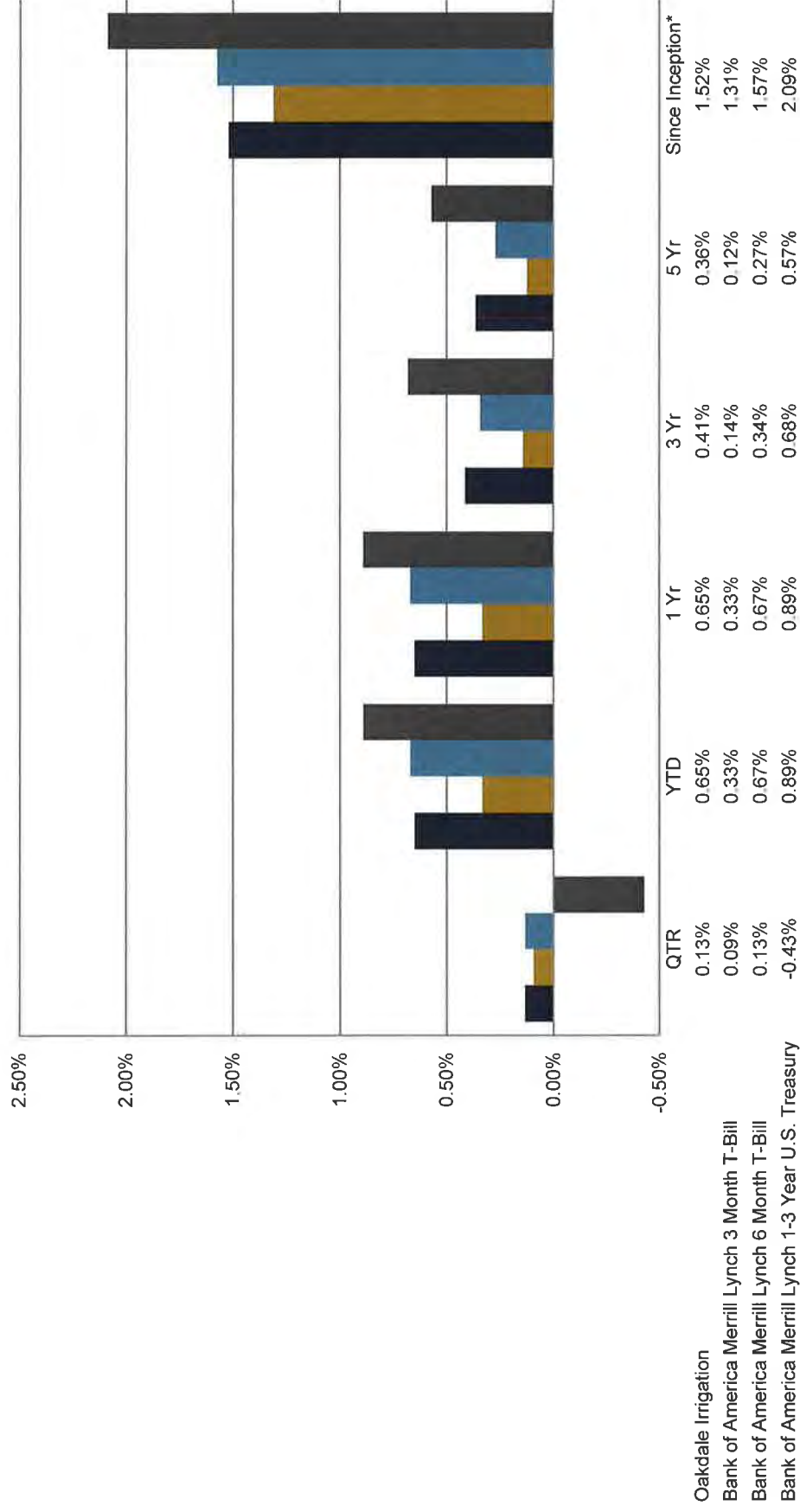


Ratings Profile (Average Credit Rating AA/Aa1/AA+)



Performance Summary

As of December 31, 2016

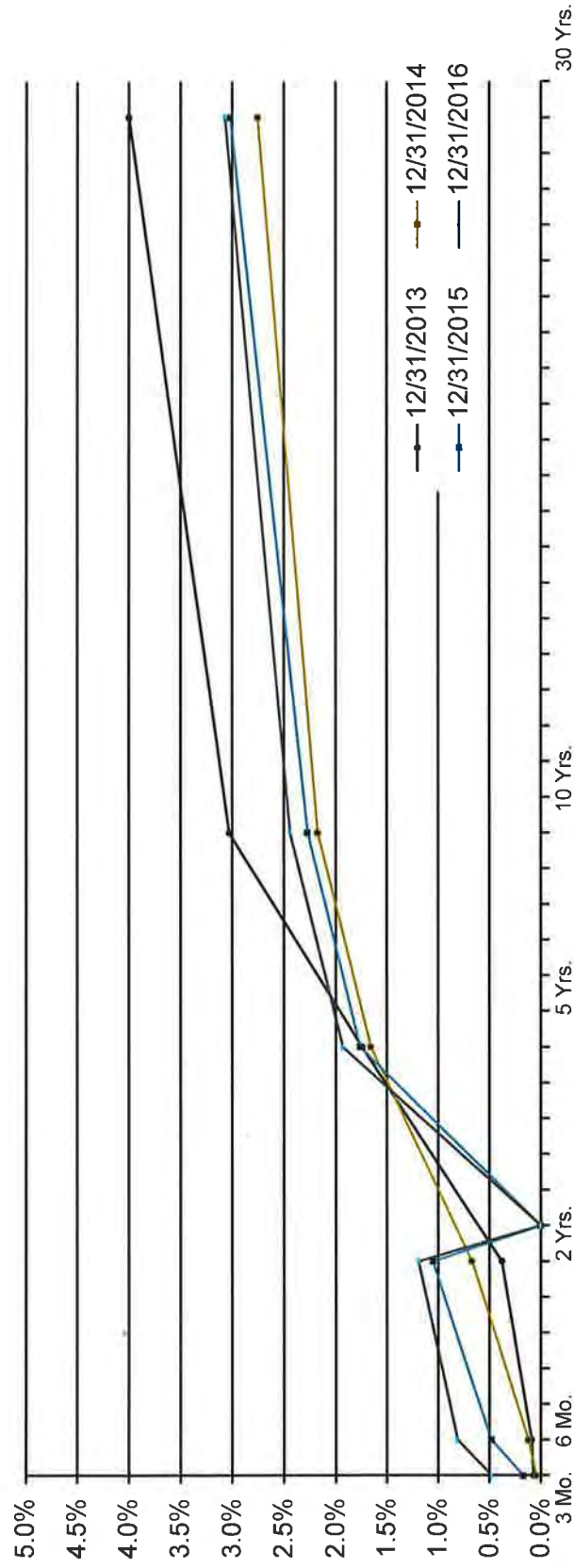


*Inception date: 07/01/2003

Returns are gross of fees. Past performance is no indication of future results. The information presented has been obtained from sources believed to be accurate and reliable. Securities are not FDIC insured, have no bank guarantee and may lose value.

Historical U.S. Treasury Yields

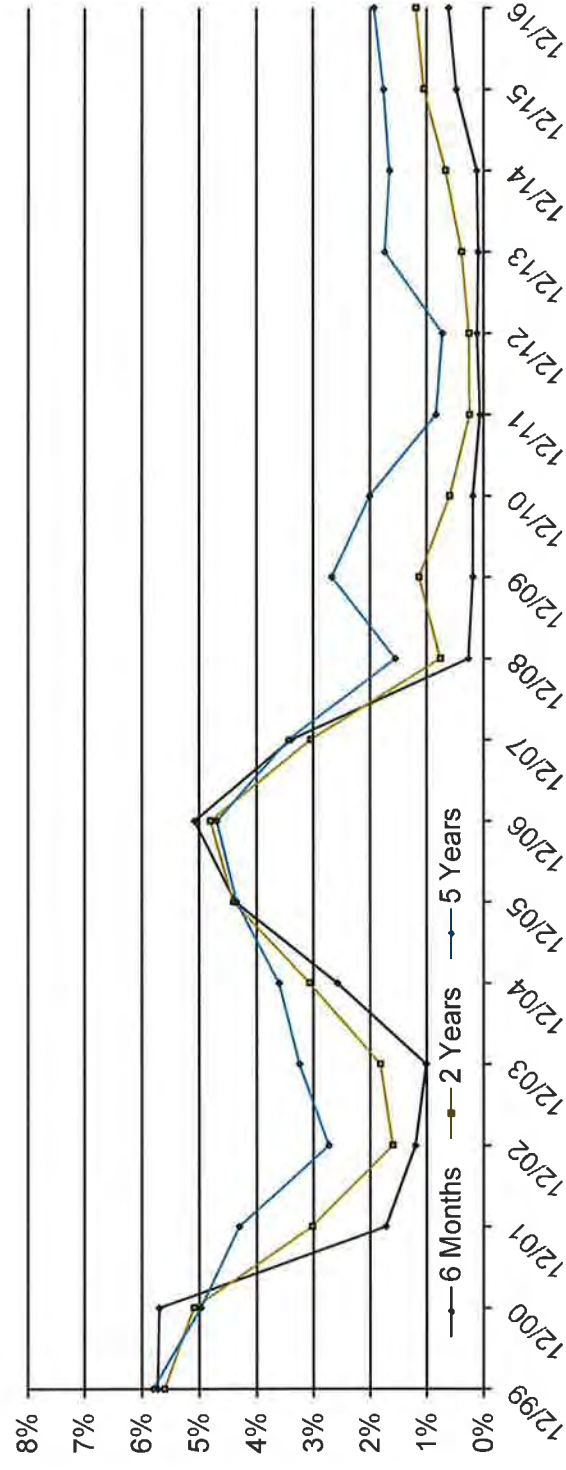
As of December 31, 2016



Source: Bloomberg, L.P. Generic Treasury Yields (C-15 Report)

U.S. Treasury Interest Rate Trends

December 1999 – December 31, 2016



Source: Bloomberg Note: During certain periods (i.e. Sept. 1994), the yield curve steepened with yield spreads between maturities becoming wider.

Economic Overview

With the election of Donald Trump as the 45th President of the United States, 2016's rollercoaster ride ended. Domestic equity markets soared on expectations of a significant boost to corporate earnings should the President-elect's plans for deregulation, corporate tax reform and offshore earnings repatriation be enacted while bond markets were rattled by the potential for rising inflation and a rate hike. In this issue of Economic and Market Perspectives, our outlook considers the impact the new administration's agenda may have on the economy and capital markets.

Economic Overview

The last word anyone could use to describe 2016 would be "uneventful." If the narrative of 2016 became a movie (and at times it certainly felt like one), it would easily fit into the 'suspense/thriller' genre. With so many twists and turns, there was no lack of excitement from near-daily geopolitical and financial market events.

The year began with a bust as worries about a hard landing in China and plummeting commodity prices shook investor confidence. The S&P 500 began 2016 with its worst start ever, dropping 11% between the beginning of January and February 11, 2016. To reverse China's negative economic momentum, a lifeline in the form of roughly \$200 billion in fiscal stimulus from the Chinese government served to soothe fears, but did little to address a growing debt concern in the world's second largest economy. (More on this later.)

At the end of the second quarter, the United Kingdom (UK) "Brexit" vote to leave the European Union (EU) shocked global markets. Equally surprising was how quickly global equity markets recovered after a sharp, yet brief, sell-off. Finally, in the fourth quarter (or the third act if we stay with the movie analogy), the outcome of the United States (U.S.) Presidential election, along with the equity market's reaction, defied expectations once again. Stocks rallied to new highs and bonds sold off on renewed hopes that economic growth would finally return to 'old normal' levels.

With populism and government debt on the rise around the world, an even more exciting sequel is not out of the question for 2017. While risk-based assets, particularly equities, played a starring role in the 2016 blockbuster, market reactions to expected and unexpected events this year may not follow the same script.

Trump-o-nomics

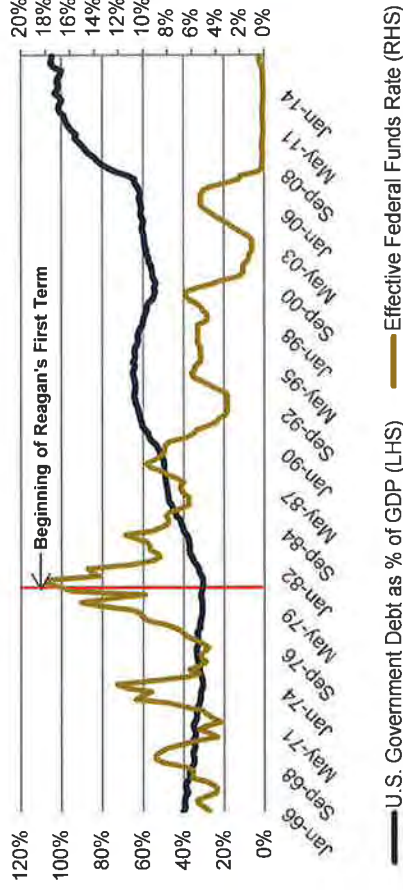
As discussed in previous Market Commentaries, the effectiveness of easy monetary policy across the world was showing clear signs of diminishing returns in terms of its impact on the real economy. While financial asset prices reaped benefits from increasingly lower interest rates, restoring real economic growth to levels on par with past expansion cycles remained elusive. Without fiscal stimulus to reinvigorate growth, the cycle would be at risk of exhaustion. Before November 8th, in the U.S. at least, it seemed that a continuation of the political status quo would not be supportive of a second wind.

Donald Trump's surprising win, combined with Republicans retaining control of Congress, unleashed equity market animal spirits on the back of inflation expectations that sent bonds into a sell-off not seen since the 'taper tantrum' of 2013. Drawing parallels to Ronald Reagan, investors gravitated to the business-friendly side of President-elect Trump's economic agenda (mostly lower taxes and deregulation), while dismissing the potential that the populist rhetoric which helped propel him to victory might turn out to be economically harmful. In other words, financial markets have sized up the incoming Trump administration as motivated by pragmatic, rather than ideological, economic principles.

Equity market enthusiasm for many of President-elect Trump's policies is understandable in light of the direct, and potentially immediate, impact of tax reform and deregulation on corporate bottom lines. The market appears to expect the incoming President's trade and immigration stances to be more bark than bite while at the same time hoping the new administration can create a Reaganesque era of growth. This expectation might be a tall order given current debt and interest rate levels. By comparison, President Reagan planted economic policy seeds in the fertile ground of low federal debt levels and peak interest rates. President-elect Trump, on the other hand, is inheriting the exact opposite, as illustrated on the next page.

Economic Overview (Cont.)

Timing is Everything



Source: Federal Reserve Bank of St. Louis

How much of a headwind the combination of high debt-to-Gross Domestic Product (GDP) and low interest rates will create for the implementation and effectiveness of the new administration's agenda is difficult to predict, but is worthy of close attention. Market conditions aside, we must also remain on guard for policy errors emanating from an inexperienced politician that could have adverse implications for investment outcomes over both the short and long term.

All Quiet on the Eastern Front?

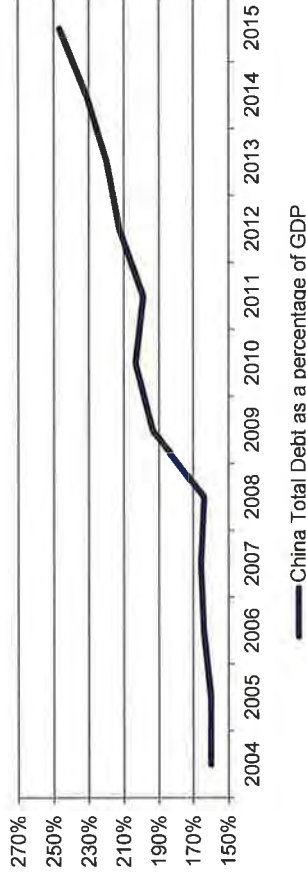
On December 14th, the Federal Open Market Committee (FOMC) of the Federal Reserve raised short-term interest rates for just the second time in over a decade. Twelve months prior, the Fed made its first upward move and promptly hit the brakes on its expected trajectory for tightening when global equity markets began to stumble in early 2016. While China was at the epicenter of the risk-off trade, at least some of China's economic troubles could be traced back to U.S. monetary policy.

Unexpected moves in August of 2015 by China's central bank to devalue its currency led to fears of a hard landing for China's globally-influential economy. The expectation of higher interest rates in the U.S. had pushed the dollar to post-crisis highs and China, with its loose peg to the dollar and export-reliant economy, was feeling the pain.

Beginning in mid-2014, the timing of the greenback's strong rally was particularly difficult for China due to the country's ongoing transition from an investment-led economy to one more heavily dependent on consumption.

As mentioned earlier, the implementation of increased fiscal spending and other Chinese policy measures in response to rising risk aversion in early 2016 served to extinguish growing worries that China's juggernaut growth would disappear and potentially drag down the economies of many of its key trading partners. But China's stopgap measures may only be bandages to cover worsening economic imbalances that have built up following years of central planning. A look at China's meteoric increase in total debt-to-GDP since 2008 raises serious questions about the limitations of perpetually attempting, through increasing debt issuance, to avoid the natural cyclical and structural forces of an economy.

A Thirst for Debt



Source: Bloomberg

Investors thus far have been tolerant of the Yuan's further decline given recent signs of healthier Chinese economic activity. The improving financial picture, however, may not be sustainable as China weans itself off fiscal stimulus efforts and capital flight continues to put pressure on currency reserves despite efforts to control outflows. To be certain, the health of the Chinese economy is a key risk for financial markets that deserves close attention in 2017 and beyond.

Economic Overview (Cont.) / Equity Outlook

Economic Highlights

A few highlights from the fourth quarter include:

- Led by strong corporate profits and exports, third quarter U.S. GDP grew 3.5%, rebounding strongly after subdued domestic growth in the first half of the year.
- As widely expected, the FOMC voted to raise the target range of the Federal Funds Rate from 0.25% - 0.50% to 0.50% - 0.75%, citing strong labor markets and rising inflation.
- The Conference Board's Consumer Confidence Index surged past its previous 2006 peak to 113.7 in December on rising consumer expectations for the stock market following the election.
- Early estimates indicate the economy added 495,000 jobs during the fourth quarter, bringing the total for 2016 to 2.16 million net new hires.
- The unemployment rate declined modestly over the quarter from 4.9% to 4.7%. Meanwhile, wages grew by 2.9% on a year-over-year basis through December, the largest increase since June 2009.

| Economic Forecasts | 2016 | 2017e |
|----------------------------|-----------|-----------|
| U.S. GDP (Y/Y Real) (%) | 1.80-2.20 | 2.00-2.50 |
| PCE* Inflation (Y/Y) (%) | 1.80-2.10 | 2.10-2.40 |
| Unemployment Rate (%) | 4.70 | 4.70 |
| Fed Funds Target (%) | 0.50-0.75 | 1.00-1.50 |
| 10-Year Treasury Yield (%) | 2.44 | 2.00-2.75 |
| S&P 500 Target | 2239 | 2225-2300 |

*Personal Consumption Expenditure Core Price Index

2016 U.S. GDP (Y/Y Real) and PCE Inflation (Y/Y) are estimated ranges.

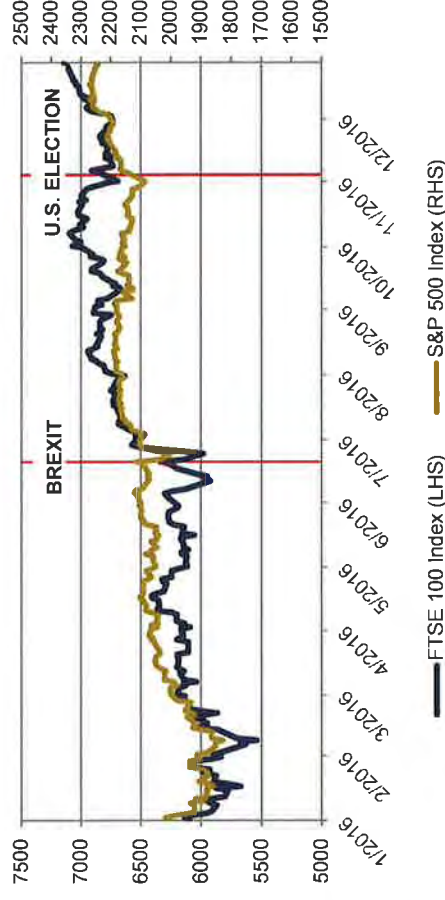
Source: HighMark Asset Allocation Committee, Bloomberg

Equity Outlook

Populism & Equity Markets

2016 was notable for a surge in successful populist movements in Europe and the U.S. Both the "Brexit" vote to leave the EU and the election of Donald Trump were populist-based and generally unexpected. Perhaps the most surprising aftershock from 2016's populist victories was the positive reaction of equity markets. While stocks were widely expected to perform poorly under such outcomes, they rallied in the days and weeks after as shown in the chart below.

Shrugging off Election Surprises



Source: Bloomberg

Will the U.S. equity market momentum continue into 2017? The future performance of the stock market is difficult to predict over the short term, though some of President-elect Trump's policy proposals, including deregulation, corporate tax reform, and a tax repatriation holiday may provide a lasting wave of optimism for certain sectors through 2017 and 2018.

Equity Outlook (Cont.)

Letting Loose

During the 2016 Presidential campaign, President-elect Trump was sharply critical of regulations that he believed harmed businesses and hindered economic growth, particularly those impacting the financial sector and healthcare. A few of his recent key cabinet appointees, including the Secretaries of Commerce, Labor, and Health and Human Services, have supported deregulation. The Administration will require cooperation from Congress to accomplish the proposed and sweeping deregulation agenda. However, it is expected that the Republican-controlled Congress will collaborate, particularly towards dismantling Dodd-Frank legislation and the Affordable Care Act (ACA).

Dodd-Frank, designed to improve the stability of the U.S. financial system and prevent future economic meltdowns, was passed in 2010 to address underlying causes of the Great Recession. The legislation introduced a sprawling web of new regulations that ushered in the most significant changes to the financial services industry since the Financial Services Modernization Act of 1999. While it is unlikely that Dodd-Frank will be repealed completely, it is a probable target for aggressive reform. Since the law was enacted, financial institutions are estimated to have spent billions of dollars to achieve compliance with the new regulations.

These regulations required some institutions to either downsize or entirely eliminate lines of business. In particular, banks were hit hard by the new regulatory requirements, and, as a result, have been trading at depressed valuations for years. Expecting major reforms, the market has positively repriced the entire industry since the election. Should Dodd-Frank be reformed, this could remove some expensive and complex regulatory oversight, potentially bolstering bank earnings.

RIP Obamacare

President-elect Trump made no secret of his desire to eradicate the ACA, also known as Obamacare. While the ACA opened the door to insurance for millions of uninsured Americans, the plan has enrolled fewer healthy Americans and more sick individuals than projected. Thus, participating insurers (even large ones) have lost significant amounts of money.

However, the future of the ACA is currently unclear. Both President Obama and Vice President-elect Mike Pence headed to Capitol Hill in early January to meet with members of their respective parties on possible strategies to save, modify or repeal the ACA. The vow to repeal the ACA was among the most important of President-elect Trump's campaign promises, but doing so without an alternate plan in place is likely to be disruptive, at least in the short term, to the insurance industry and the 20 million newly insured Americans.

While the full impact to the healthcare sector from the potential repeal of the ACA is unknown, investors are fearful of changes in drug pricing. Last month, the President-elect pledged to bring down drug prices, which caused biotech stocks to tumble. In the first few days of 2017, some pharmaceutical companies were already instituting significant drug price increases, likely in reaction to Mr. Trump's earlier statements. Though Hillary Clinton was more outspoken on the issue than the President-elect, the predominant mood relative to drug pricing is fear and uncertainty, which is likely to pose challenges to the embattled healthcare sector in the short term.

Corporate Tax Reform & Repatriation

President-elect Trump has strongly supported corporate tax reform, including a reduction in rates and an overseas earnings repatriation holiday. His platform called for a decrease in corporate taxes to 15%, less than half of the current corporate top tax rate of 35%. A separate plan, designed by Paul Ryan and others in the Republican-led Congress, calls for a corporate tax reduction to 20%. Any reduction could act as a tailwind to boost corporate earnings, which turned to positive 3% in the third quarter of 2016 after five consecutive quarters of negative growth. This positive trend is expected to continue into the fourth quarter of 2016, with average earnings growth of 3.2% expected for the S&P 500 in the fourth quarter, according to FactSet Research Systems.

Equity Outlook (Cont.) / Fixed Income Outlook

Unintended Consequences

An overseas earnings repatriation tax holiday would temporarily offer U.S. multinational companies the option to bring back profits currently held overseas at a much lower corporate rate of 10% versus the current 35%. The logic behind the tax holiday is that many large multinationals would potentially leap at the opportunity to bring back profits at the lower repatriated rate, funneling the savings into capital expenditures and creating jobs.

The last time there was a repatriation tax holiday was in 2004, and multinationals largely used the savings for stock buy-backs and to pay larger dividends to shareholders. It is likely that if there is another tax repatriation holiday, there would be more of the same, as opposed to the rosier scenario of job creation espoused by President-elect Trump. Tax repatriation capital may also be a popular source of funds for mergers and acquisitions; activity which often leads to more work for lawyers and consultants than the middle-income wage earners who are more reliant on sustainable capital expenditure investments in plants and equipment.

Equity Strategy for Q1 2017

While U.S. equity markets have outperformed of late, we continue to favor non-U.S. developed country equities over domestic stocks. The attractiveness of international stocks stems from a multi-year outperformance cycle of domestic equities that has resulted in stretched valuations relative to international peers. Corporate earnings in Europe, having languished since the European Debt Crisis, have begun to show signs of renewed growth. Since the U.S. appears to be in the later stages of an economic cycle and the dollar has appreciated, expectations for domestic earnings growth over the longer term are becoming more muted.

We acknowledge that Brexit ramifications may pose a headwind to UK stocks over the near term, but Euro and Pound weakness versus the U.S. dollar are likely to provide an improved competitive advantage for European-based multinationals over the longer term.

| Country/Region | Q1 2017 Allocation | Q4 2016 Allocation |
|-------------------------|--------------------|--------------------|
| U.S. | Underweight | Underweight |
| Developed International | Overweight | Overweight |
| Emerging Markets | Neutral Weight | Neutral Weight |

Fixed Income Outlook

Fed Begins Long-Awaited Normalization

Although economic indicators had changed only marginally since the Fed's last FOMC meeting in November 2016, when no rate hike was announced, December's meeting produced just the second rate hike since the Great Recession of 2008.

While the benchmark rate increase to a range of 0.50% to 0.75% was expected, many were surprised that the Fed, given the trajectory of economic growth and employment levels, said it may raise rates as many as three times in 2017, as opposed to the consensus view of two times.

After the last FOMC meeting, Chairwoman Janet Yellen struck a non-partisan tone about the potential impact President-elect Trump's plans for fiscal stimulus measures might have on inflation. Given that the President-elect's stimulus programs would benefit from low rates, the stage may be set for a contentious relationship between the Executive branch and the Fed, as the Fed uses rate hikes to counter inflation pressure that may arise from the new administration's stimulative agenda.

Fixed Income Outlook (Cont.)

Make Munis Great Again

The potential impact of the incoming administration's plans is particularly relevant for municipal bonds (munis). Munis are a significant arrow in the quiver of managers of taxable investment portfolios and provide tax-advantaged income along with the opportunity for capital appreciation. Tax reform, as promised by the President-elect, might include altering or eliminating the Alternative Minimum Tax which has traditionally supported some of the higher-yielding segments of the muni market. Tax reform could also impact taxable bonds: if income tax rates are reduced, the after-tax attractiveness of muni bonds compared to taxable bonds could be reduced. This would result in upward yield pressure and lower prices on munis, compared to taxable bond offerings such as corporates and Treasuries.

A further downturn in the muni market, already suffering one of its worst years in recent history as shown in the chart below, could follow as investors find income in other bond market segments such as high yield issues.

Barclays U.S. Municipal Total Return



Source: Morningstar

Bolstering this downbeat scenario for munis is the possibility that the new administration's infrastructure stimulus plan will require a significant level of new revenue and general obligation bond offerings to fund the promised projects. These new issues could increase supply just as demand wanes.

The future of muni bonds, and other bond market segments, is unclear as markets enter 2017. But it is certain that sweeping fiscal changes will not be implemented overnight when the President-elect and the Republican-majority Congress are installed.

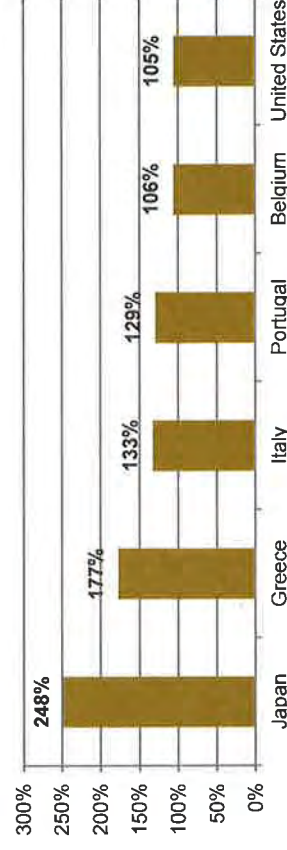
Many of the proposals put forth by President-elect Trump, including deregulation, tax reform and infrastructure spending are likely to directly benefit U.S. equity markets. However, the outlook for fixed income may be less optimistic. These policies may spawn inflationary pressures requiring the Fed to "take away the punch bowl just as the party gets going." This cliché encapsulates the Fed's mandate of preventing an overheating economy by implementing rate hikes that dampen inflation but also pressure Treasury prices.

Neither a Borrower nor a Lender Be

Lower taxes, increased infrastructure expansion, and increased spending on other components of the economy such as the military, as outlined by the President-elect, will all impact a key economic metric: total U.S. Federal debt as a percentage of GDP.

Stimulus programs implemented in response to the Great Recession, along with a subdued economic recovery, have driven debt-to-GDP levels far above long-term averages with current readings greater than 100%. Among developed countries, only Japan, Greece, Italy, Portugal and Belgium "enjoy" higher debt-to-GDP levels than the U.S. as shown in the chart below.

Government Debt as a % of GDP, 2015



Source: IMF, World Economic Outlook

Fixed Income Outlook (Cont.)

U.S. debt-to-GDP has almost doubled since 2001, which is concerning since this economic indicator is often used by investors to gauge the ability of a country to use leverage for future economic growth. Countries with higher debt-to-GDP ratios have higher debt servicing expenses, which can impair economic growth potential since they limit a country's ability to use these funds for otherwise productive purposes.

Debt-to-GDP levels would certainly decline if the President-elect's plans to deliver 4% GDP growth versus current levels in the 2% range are accomplished, but few economists believe such an ambitious target is achievable. The economy faces significant headwinds to dramatically expanding GDP growth, particularly relative to productivity growth which is more structurally driven and not as directly impacted by fiscal policy. We tend to agree with Chairwoman Yellen's comments that fiscal stimulus efforts have more economic traction when labor markets are weak. Now that U.S. employment has reached the Fed's definition of full employment, low interest rates and fiscal stimulus initiatives may be less helpful to productivity growth than investing in education, capital expenditures, innovation and business formation.

At the same time, the other half of the equation – debt – shows few signs of long-term decline. The U.S. population of baby boomers has retired, or is moving toward retirement, and will rely on debt-fueled programs like Social Security and Medicare. Debt-funded economic stimulus plans, as envisioned by the President-elect, when combined with the needs of an aging workforce, do not bode well for long-term debt-to-GDP reduction.

We have been underweight U.S. Government Bonds for several years and, given the combination of rising rates and the outlook for future U.S. issuance and yields, see no compelling reason to change course as we enter the New Year.

Fixed Income Strategy for Q1 2017

We closed our overweight position to Treasury Inflation Protected Securities (TIPS) and moved the allocation to Floating Rate Notes (FRNs). We believe that FRNs offer an attractive credit spread, which we expect to remain stable due to strong corporate fundamentals and a stable economic outlook. Additionally, we moved from a slight underweight in Mortgage Backed Securities to a slight overweight position, which brings our overall allocation to Structured Securities to a neutral weight.

| Sector | Q1 2017 Allocation | | Q4 2016 Allocation | |
|-----------------------|--------------------|-------------------|--------------------|-------------------|
| Municipal Bonds | | Neutral Weight | | Neutral Weight |
| U.S. Corporate Bonds | | Modest Overweight | | Modest Overweight |
| High Yield Bonds | | Neutral Weight | | Neutral Weight |
| U.S. Government Bonds | | Underweight | | Underweight |
| Structured Securities | | Neutral Weight | | Underweight |

Conclusion

While the fourth quarter saw equity markets near the long-sought summit of a 20,000 Dow Jones Industrial index, our equity asset allocation policy remains unchanged. We continue to find better opportunities for attractively-valued stocks abroad and view current debt-to-GDP levels, both in the U.S. and China, with concern. The President-elect's package of fiscal initiatives, while potentially supportive of equities, is likely to be less friendly to U.S. bond markets as rising inflation may result.

Fixed Income Outlook (Cont.)

David Wines, President & CEO
James St. Aubin, Head of Investment Strategy
Todd Lowenstein, Director of Research

HighMark Capital Management, Inc.
www.highmarkcapital.com

Economic and Market Perspectives is a publication of HighMark Capital Management, Inc. (HighMark). This publication is for general information only and is not intended to provide specific advice to any individual or institution. Some information provided herein was obtained from third-party sources deemed to be reliable. HighMark and its affiliates make no representations or warranties with respect to the timeliness, accuracy, or completeness of this publication and bear no liability for any loss arising from its use. All forward-looking information and forecasts contained in this publication, unless otherwise noted, are the opinion of HighMark, and future market movements may differ significantly from our expectations. HighMark, an SEC-registered investment adviser, is a wholly owned subsidiary of MUFG Union Bank, N.A. (MUFG Union Bank). HighMark manages institutional separate account portfolios for a wide variety of for-profit and nonprofit organizations, public agencies, public and private retirement plans, and personal trusts of all sizes. It may also serve as sub-adviser for mutual funds, common trust funds, and collective investment funds. MUFG Union Bank, a subsidiary of MUFG Americas Holdings Corporation, provides certain services to HighMark and is compensated for these services. Past performance does not guarantee future results. Individual account management and construction will vary depending on each client's investment needs and objectives. **Investments employing HighMark strategies are NOT insured by the FDIC or by any other Federal Government Agency, are NOT Bank deposits, are NOT guaranteed by the Bank or any Bank affiliate, and MAY lose value, including possible loss of principal.**

Entire publication © HighMark Capital Management, Inc. 2017. All rights reserved.



HMCM- Standard Month End
HMCM-Oakdale Irrigation Distri (44350)
Month End (M12 Y2016)
12/01/2016 - 12/31/2016

Dated: 01/03/2017
Locked Down

Table of Contents

Dated: 01/03/2017

| | |
|--|-----------|
| <u>HMCM-Dashboard (HMCM-Oakdale Irrigation Distri</u> | <u>1</u> |
| <u>GAAP Financials (HMCM-Oakdale Irrigation Distri</u> | <u>2</u> |
| <u>GAAP Trial Balance (HMCM-Oakdale Irrigation Distri</u> | <u>3</u> |
| <u>GAAP Entry Summary (HMCM-Oakdale Irrigation Distri</u> | <u>4</u> |
| <u>HMCM-Maturity Report (HMCM-Oakdale Irrigation Distri</u> | <u>6</u> |
| <u>HMCM-Portfolio Holdings (HMCM-Oakdale Irrigation Distri</u> | <u>7</u> |
| <u>HMCM-Earnings Report (HMCM-Oakdale Irrigation Distri</u> | <u>10</u> |
| <u>HMCM-Transaction Register (HMCM-Oakdale Irrigation Distri</u> | <u>13</u> |
| <u>HMCM-FASB 95/115 Portfolio Statement (HMCM-Oakdale Irrigation Distri</u> | <u>15</u> |
| <u>HMCM-Cash Equivalent Holdings - 90 Days or Less (HMCM-Oakdale Irrigation Distri</u> | <u>17</u> |
| <u>HMCM-Maturity Report - 91 Days or Over (HMCM-Oakdale Irrigation Distri</u> | <u>18</u> |
| <u>HMCM-Purchases Report- 91 Days or Over (HMCM-Oakdale Irrigation Distri</u> | <u>19</u> |
| <u>HMCM-Sales Report - 91 Days or Over (HMCM-Oakdale Irrigation Distri</u> | <u>20</u> |
| <u>HMCM-Calls Report (HMCM-Oakdale Irrigation Distri</u> | <u>21</u> |
| <u>HMCM-Roll-Forward (HMCM-Oakdale Irrigation Distri</u> | <u>22</u> |

Table of Contents

Dated: 01/03/2017

| | |
|---|-----------|
| <u>HMCM-Exposure - Duration (HMCM-Oakdale Irrigation Distri</u> | <u>24</u> |
| <u>HMCM-Exposure - Security Type (HMCM-Oakdale Irrigation Distri</u> | <u>27</u> |
| <u>HMCM-Credit Events (HMCM-Oakdale Irrigation Distri</u> | <u>30</u> |
| <u>HMCM-Compliance Summary Report (HMCM-Oakdale Irrigation Distri</u> | <u>31</u> |

Balance Sheet

| | |
|--------------------------|---------------|
| Book Value + Accrued | 53,235,527.51 |
| Net Unrealized Gain/Loss | -13,556.53 |
| Market Value + Accrued | 53,221,970.98 |

Cash and Fixed Income Summary

| Risk Metric | Value |
|-----------------------------|---------------|
| Cash | 12.34 |
| MMFund | 54,648.35 |
| Fixed Income | 53,167,310.29 |
| Duration | 0.197 |
| Convexity | 0.001 |
| WAL | 0.211 |
| Years to Final Maturity | 0.212 |
| Years to Effective Maturity | 0.211 |
| Yield | 0.654 |
| Book Yield | 0.667 |
| Avg Credit Rating | AA+/Aa1/AA+ |

Exposure - Security Type

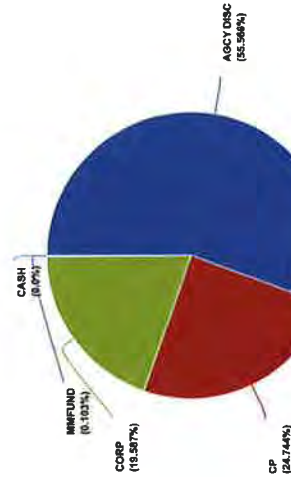
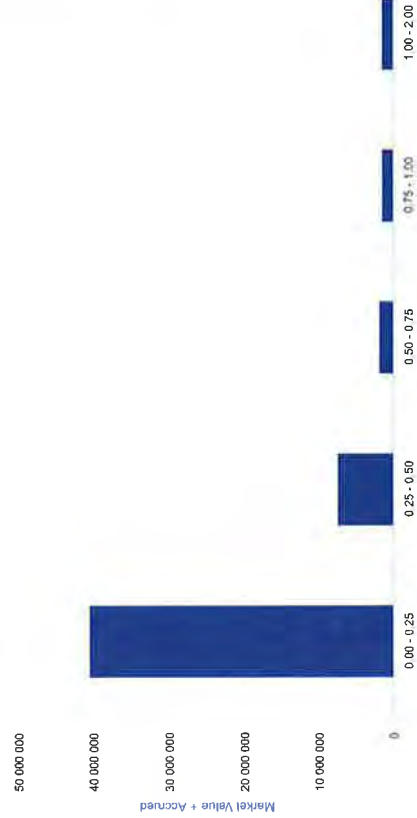


Chart calculated by Risk Market Value + Accrued

Exposure - Duration



GAAP Financials

12/01/2016 - 12/31/2016

HMCM-Oakdale Irrigation Distr

Dated: 01/03/2017

[Return to Table of Contents](#)

Balance Sheet

| As of: | 11/30/2016 | HMCM-Oakdale Irrigation Distr | 12/31/2016 |
|--------------------------|---------------|-------------------------------|---------------|
| Book Value | 53,175,609.82 | | 53,210,436.74 |
| Accrued Balance | 30,330.39 | | 25,090.77 |
| Book Value + Accrued | 53,205,940.20 | | 53,235,527.51 |
| Net Unrealized Gain/Loss | -11,685.64 | | -13,556.53 |
| Market Value + Accrued | 53,194,254.56 | | 53,221,970.98 |

Income Statement

| | HMCM-Oakdale Irrigation Distr | 12/01/2016 | 12/31/2016 |
|-----------------------------------|-------------------------------|------------|------------|
| Net Amortization/Accretion Income | | | 17,392.11 |
| Interest Income | 12,195.20 | | |
| Dividend Income | 0.00 | | |
| Misc Income | 0.00 | | |
| Income Subtotal | | | 12,195.20 |
| Net Realized Gain/Loss | 0.00 | | |
| Impairment Loss | 0.00 | | |
| Net Gain/Loss | | | 0.00 |
| Expense | 0.00 | | |
| Net Income | | | 29,587.31 |
| Transfers In/Out | | | 0.00 |
| Change in Unrealized Gain/Loss | | | -1,870.89 |

Statement of Cash Flows

| | HMCM-Oakdale Irrigation Distr | 12/01/2016 | 12/31/2016 |
|--------------------------------|-------------------------------|------------|---------------|
| Net Income | | | 29,587.31 |
| Amortization/Accretion on MS | -9,717.39 | | |
| Change in Accrued on MS | 5,239.62 | | |
| Net Gain/Loss on MS | 0.00 | | |
| Change in Unrealized G/L on CE | 1,269.41 | | |
| Subtotal | | | -3,208.37 |
| Purchases of MS | -1,496,472.50 | | |
| Purchased Accrued of MS | 0.00 | | |
| Sales of MS | 0.00 | | |
| Sold Accrued of MS | 0.00 | | |
| Maturities of MS | 7,455,000.00 | | |
| Net Purchases/Sales | | | 5,958,527.50 |
| Transfers of Cash & CE | | | 0.00 |
| Total Change in Cash & CE | | | 5,984,906.44 |
| Beginning Cash & CE | | | 19,313,483.00 |
| Ending Cash & CE | | | 25,298,389.44 |

GAAP Trial Balance

12/01/2016 - 12/31/2016

HMCM-Oakdale Irrigation Distri

[Return to Table of Contents](#)

Dated: 01/03/2017

Asset

| Description | Currency | Balance Type | Beginning Balance | Activity | Ending Balance |
|-----------------------------|------------|--------------|----------------------|------------------|----------------------|
| Accrued Interest | USD | Asset | 30,330.39 | -5,239.82 | 25,090.77 |
| CE Book Value | USD | Asset | 19,312,998.71 | 5,983,882.71 | 25,296,641.42 |
| CE Net Unrealized Gain/Loss | USD | Asset | 466.27 | 1,269.41 | 1,735.68 |
| LT Book Value | USD | Asset | 1,504,066.00 | -291.06 | 1,503,764.94 |
| LT Net Unrealized Gain/Loss | USD | Asset | -7,131.00 | -143.94 | -7,274.94 |
| Receivable | USD | Asset | 58.02 | -45.68 | 12.34 |
| ST Book Value | USD | Asset | 32,358,537.09 | -5,948,519.05 | 26,410,018.04 |
| ST Net Unrealized Gain/Loss | USD | Asset | -5,020.92 | -2,996.36 | -8,017.27 |
| --- | USD | Asset | 53,184,254.56 | 27,716.42 | 53,221,970.98 |

Income & Expense

| Description | Currency | Balance Type | Beginning Balance | Activity | Ending Balance |
|----------------------------|------------|--------------|-------------------|------------------|-------------------|
| Interest Income | USD | Income | 197,338.75 | 12,195.20 | 209,533.95 |
| Miscellaneous Income | USD | Income | 0.06 | 0.00 | 0.06 |
| Net Amortization/Accretion | USD | Income | 41,908.49 | 17,392.11 | 59,300.60 |
| Miscellaneous Expense | USD | Expense | -38,970.35 | 0.00 | -38,970.35 |
| --- | USD | --- | 200,276.95 | 29,587.31 | 229,864.26 |

Other

| Description | Currency | Balance Type | Beginning Balance | Activity | Ending Balance |
|------------------------------|------------|---------------|----------------------|------------------|----------------------|
| Cash Transfers | USD | Equity | 19,000,000.00 | 0.00 | 19,000,000.00 |
| Net OCI Unrealized Gain/Loss | USD | Equity | -11,685.64 | -1,870.89 | -13,556.53 |
| --- | USD | Equity | 18,988,314.36 | -1,870.89 | 18,986,443.47 |

Summary

| Description | Currency | Balance Type | Beginning Balance | Activity | Ending Balance |
|-------------|------------|--------------|----------------------|------------------|----------------------|
| --- | USD | --- | 72,382,845.87 | 55,432.83 | 72,438,278.70 |

GAAP Entry Summary

12/01/2016 - 12/31/2016

HMC-M-Oakdale Irrigation Distri

Dated: 01/03/2017

[Return to Table of Contents](#)

Accretion Income

| Activity Type | Currency | GL Account Description | Debit | Credit |
|-------------------------|------------|----------------------------|------------------|------------------|
| Accretion Income | USD | ST Book Value | 12,965.14 | 0.00 |
| Accretion Income | USD | Net Amortization/Accretion | 0.00 | 20,639.85 |
| Accretion Income | USD | CE Book Value | 7,674.71 | 0.00 |
| Accretion Income | USD | — | 20,639.85 | 20,639.85 |

Amortization Expense

| Activity Type | Currency | GL Account Description | Debit | Credit |
|-----------------------------|------------|----------------------------|-----------------|-----------------|
| Amortization Expense | USD | ST Book Value | 0.00 | 2,956.69 |
| Amortization Expense | USD | Net Amortization/Accretion | 3,247.74 | 0.00 |
| Amortization Expense | USD | LT Book Value | 0.00 | 291.06 |
| Amortization Expense | USD | — | 3,247.74 | 3,247.74 |

Buy

| Activity Type | Currency | GL Account Description | Debit | Credit |
|---------------|------------|------------------------|----------------------|----------------------|
| Buy | USD | ST Book Value | 1,500,000.00 | 3,527.50 |
| Buy | USD | CE Book Value | 29,497,480.50 | 8,876.12 |
| Buy | USD | Cash | 0.00 | 30,985,076.88 |
| Buy | USD | Payable | 30,985,076.88 | 30,985,076.88 |
| Buy | USD | — | 61,982,557.38 | 61,982,557.38 |

Coupon

| Activity Type | Currency | GL Account Description | Debit | Credit |
|---------------|------------|------------------------|------------------|------------------|
| Coupon | USD | Accrued Interest | 0.00 | 17,422.50 |
| Coupon | USD | Cash | 17,422.50 | 0.00 |
| Coupon | USD | Receivable | 17,422.50 | 17,422.50 |
| Coupon | USD | — | 34,845.00 | 34,845.00 |

Interest Income

| Activity Type | Currency | GL Account Description | Debit | Credit |
|------------------------|------------|------------------------|------------------|------------------|
| Interest Income | USD | Accrued Interest | 12,194.03 | 0.00 |
| Interest Income | USD | Interest Income | 0.00 | 12,194.03 |
| Interest Income | USD | — | 12,194.03 | 12,194.03 |

Maturity

| Activity Type | Currency | GL Account Description | Debit | Credit |
|-----------------|------------|------------------------|----------------------|----------------------|
| Maturity | USD | ST Book Value | 10,939.60 | 7,465,939.60 |
| Maturity | USD | CE Book Value | 5,744.37 | 8,030,744.37 |
| Maturity | USD | Cash | 15,480,000.00 | 0.00 |
| Maturity | USD | Receivable | 15,480,000.00 | 15,480,000.00 |
| Maturity | USD | — | 30,976,683.97 | 30,976,683.97 |

Money Market Funds

GAAP Entry Summary

12/01/2016 - 12/31/2016

HMCM-Oakdale Irrigation Distri

Dated: 01/03/2017

[Return to Table of Contents](#)

| Activity Type | Currency | GL Account Description | Debit | Credit |
|---------------------------|------------|------------------------|--------------|--------------|
| Money Market Funds | USD | Accrued Interest | 0.00 | 11.15 |
| Money Market Funds | USD | Interest Income | 0.02 | 1.19 |
| Money Market Funds | USD | Cash | 58.00 | 0.00 |
| Money Market Funds | USD | Receivable | 12.34 | 58.02 |
| Money Market Funds | USD | -- | 70.36 | 70.36 |

| Sell | | | | |
|---------------|------------|------------------------|----------------------|----------------------|
| Activity Type | Currency | GL Account Description | Debit | Credit |
| Sell | USD | CE Book Value | 0.00 | 15,487,596.38 |
| Sell | USD | Cash | 15,487,596.38 | 0.00 |
| Sell | USD | Receivable | 15,487,596.38 | 15,487,596.38 |
| Sell | USD | -- | 30,975,192.76 | 30,975,192.76 |

Unrealized Gain Change

| Activity Type | Currency | GL Account Description | Debit | Credit |
|-------------------------------|------------|------------------------------|------------------|------------------|
| Unrealized Gain Change | USD | ST Net Unrealized Gain/Loss | 15,003.63 | 17,999.98 |
| Unrealized Gain Change | USD | Net OCI Unrealized Gain/Loss | 35,051.71 | 33,180.82 |
| Unrealized Gain Change | USD | CE Net Unrealized Gain/Loss | 5,863.80 | 4,594.39 |
| Unrealized Gain Change | USD | LT Net Unrealized Gain/Loss | 12,313.39 | 12,457.33 |
| Unrealized Gain Change | USD | -- | 68,232.52 | 68,232.52 |

* Grouped by: Activity Type * Groups Sorted by: Activity Type

HMCM-Portfolio Holdings

Base Currency: USD As of 12/31/2016

HMCM-Oakdale Irrigation Distri

Dated: 01/03/2017

[Return to Table of Contents](#)

AGCY DISC

| Description, Identifier | Coupon Rate | Current Face Value, Base Original Units | Settle Date, Effective Maturity | Next Call Date | Original Price, Base Original Cost | Original Purchased, Accrued, Remaining Original Purchase Accrued | Net Accumulated Amortization/ Accretion | Accrued Balance, Book Value + Accrued | Book Yield | Days Left to Effective Maturity, Security Type | % Of Book Value + Accrued | Base Market Value + Accrued |
|-------------------------|-------------|---|---------------------------------|----------------|------------------------------------|--|---|---------------------------------------|------------|--|---------------------------|-----------------------------|
| FEDERAL HOME LOAN BANKS | 0.00 | 2,600,000.00 | 10/05/2016 | — | 99.914 | 0.00 | 2,160.89 | 2,599,926.33 | 0.00 | 4 | 4.884% | 2,600,000.00 |
| 313395AD8 | | 2,600,000.00 | 01/04/2017 | — | 2,597,765.44 | 0.00 | | | | AGCY DISC | | |
| FEDERAL HOME LOAN BANKS | 0.00 | 600,000.00 | 10/12/2016 | — | 99.915 | 0.00 | 486.00 | 599,976.00 | 0.00 | 5 | 1.127% | 599,988.00 |
| 313395AE6 | | 600,000.00 | 01/05/2017 | — | 599,490.00 | 0.00 | | | | AGCY DISC | | |
| FEDERAL HOME LOAN BANKS | 0.00 | 550,000.00 | 11/18/2016 | — | 99.938 | 0.00 | 275.61 | 549,937.36 | 0.00 | 11 | 1.033% | 549,956.00 |
| 313395AL0 | | 550,000.00 | 01/11/2017 | — | 549,661.75 | 0.00 | | | | AGCY DISC | | |
| FEDERAL HOME LOAN BANKS | 0.00 | 2,575,000.00 | 11/18/2016 | — | 99.939 | 0.00 | 1,290.36 | 2,574,706.74 | 0.00 | 11 | 4.836% | 2,574,794.00 |
| 313395AL0 | | 2,575,000.00 | 01/11/2017 | — | 2,573,416.38 | 0.00 | | | | AGCY DISC | | |
| FEDERAL HOME LOAN BANKS | 0.00 | 300,000.00 | 10/12/2016 | — | 99.903 | 0.00 | 256.50 | 299,965.17 | 0.00 | 12 | 0.563% | 299,973.00 |
| 313395AM8 | | 300,000.00 | 01/12/2017 | — | 299,708.67 | 0.00 | | | | AGCY DISC | | |
| FEDERAL HOME LOAN BANKS | 0.00 | 800,000.00 | 09/30/2016 | — | 99.911 | 0.00 | 609.67 | 799,895.11 | 0.00 | 17 | 1.503% | 799,880.00 |
| 313395AS5 | | 800,000.00 | 01/17/2017 | — | 799,285.44 | 0.00 | | | | AGCY DISC | | |
| FEDERAL HOME LOAN BANKS | 0.00 | 4,000,000.00 | 12/07/2016 | — | 99.948 | 0.00 | 1,111.11 | 3,997,911.11 | 0.00 | 23 | 7.512% | 3,999,160.00 |
| 313395AY2 | | 4,000,000.00 | 01/23/2017 | — | 3,997,911.11 | 0.00 | | | | AGCY DISC | | |
| FEDERAL HOME LOAN BANKS | 0.00 | 425,000.00 | 11/21/2016 | — | 99.921 | 0.00 | 210.55 | 424,876.75 | 0.00 | 25 | 0.798% | 424,902.25 |
| 313395BA3 | | 425,000.00 | 01/25/2017 | — | 424,666.20 | 0.00 | | | | AGCY DISC | | |
| FEDERAL HOME LOAN BANKS | 0.00 | 2,400,000.00 | 11/30/2016 | — | 99.929 | 0.00 | 977.07 | 2,399,267.20 | 0.00 | 25 | 4.507% | 2,399,448.00 |
| 313395BA3 | | 2,400,000.00 | 01/25/2017 | — | 2,398,290.13 | 0.00 | | | | AGCY DISC | | |
| FEDERAL HOME LOAN BANKS | 0.00 | 4,025,000.00 | 12/07/2016 | — | 99.946 | 0.00 | 1,118.06 | 4,023,926.67 | 0.00 | 25 | 7.559% | 4,024,074.25 |
| 313395BA3 | | 4,025,000.00 | 01/25/2017 | — | 4,022,808.61 | 0.00 | | | | AGCY DISC | | |
| FEDERAL HOME LOAN BANKS | 0.00 | 630,000.00 | 10/03/2016 | — | 99.859 | 0.00 | 504.00 | 629,865.60 | 0.00 | 25 | 1.183% | 629,855.10 |
| 313395BA3 | | 630,000.00 | 01/25/2017 | — | 629,361.60 | 0.00 | | | | AGCY DISC | | |
| FEDERAL HOME LOAN BANKS | 0.00 | 4,700,000.00 | 11/04/2016 | — | 99.914 | 0.00 | 2,801.72 | 4,698,744.05 | 0.00 | 27 | 8.826% | 4,698,825.00 |
| 313395BC9 | | 4,700,000.00 | 01/27/2017 | — | 4,695,942.33 | 0.00 | | | | AGCY DISC | | |
| FEDERAL HOME LOAN BANKS | 0.00 | 1,225,000.00 | 12/08/2016 | — | 99.936 | 0.00 | 375.67 | 1,224,593.03 | 0.00 | 27 | 2.300% | 1,224,693.75 |
| 313395BC9 | | 1,225,000.00 | 01/27/2017 | — | 1,224,217.36 | 0.00 | | | | AGCY DISC | | |
| FEDERAL HOME LOAN BANKS | 0.00 | 500,000.00 | 12/21/2016 | — | 99.925 | 0.00 | 80.97 | 499,705.55 | 0.00 | 41 | 0.939% | 499,800.00 |
| 313395BS4 | | 500,000.00 | 02/10/2017 | — | 499,624.58 | 0.00 | | | | AGCY DISC | | |
| FEDERAL HOME LOAN BANKS | 0.00 | 4,250,000.00 | 12/10/2016 | — | 99.919 | 0.00 | 675.28 | 4,247,237.50 | 0.00 | 46 | 7.978% | 4,248,087.50 |
| 313395BX3 | | 4,250,000.00 | 02/15/2017 | — | 4,246,562.22 | 0.00 | | | | AGCY DISC | | |
| FEDERAL HOME LOAN BANKS | 0.00 | 29,580,000.00 | — | — | 99.928 | 0.00 | 12,933.46 | 29,571,645.28 | 0.00 | 24 | 55.549% | 29,573,436.85 |
| — | | 29,580,000.00 | 01/24/2017 | — | 29,558,711.82 | 0.00 | | | | AGCY DISC | | |

CASH

| Description, Identifier | Coupon Rate | Current Face Value, Base Original Units | Settle Date, Effective Maturity | Next Call Date | Original Price, Base Original Cost | Original Purchased, Accrued, Remaining Original Purchase Accrued | Net Accumulated Amortization/ Accretion | Accrued Balance, Book Value + Accrued | Book Yield | Days Left to Effective Maturity, Security Type | % Of Book Value + Accrued | Base Market Value + Accrued |
|-------------------------|-------------|---|---------------------------------|----------------|------------------------------------|--|---|---------------------------------------|------------|--|---------------------------|-----------------------------|
| Receivable CCYUSD | 0.00 | 0.00 | — | — | 1.00 | 0.00 | 0.00 | 0.00 | 0.00 | 0 | 0.000% | 12.34 |
| | | 12.34 | 12/31/2016 | — | 12.34 | 0.00 | | 12.34 | | CASH | | |
| Receivable CCYUSD | 0.00 | 0.00 | — | — | 1.00 | 0.00 | 0.00 | 0.00 | 0.00 | 0 | 0.000% | 12.34 |
| | | 12.34 | 12/31/2016 | — | 12.34 | 0.00 | | 12.34 | | CASH | | |

CORP

| Description, Identifier | Coupon Rate | Current Face Value, Base Original Units | Settle Date, Effective Maturity | Next Call Date | Original Price, Base Original Cost | Original Purchased, Accrued, Remaining Original Purchase Accrued | Net Accumulated Amortization/ Accretion | Accrued Balance, Book Value + Accrued | Book Yield | Days Left to Effective Maturity, Security Type | % Of Book Value + Accrued | Base Market Value + Accrued |
|---------------------------------|-------------|---|---------------------------------|----------------|------------------------------------|--|---|---------------------------------------|------------|--|---------------------------|-----------------------------|
| AMERICAN HONDA FINANCE CORP | 1.20 | 654,000.00 | 08/12/2016 | — | 100.245 | 610.40 | -677.16 | 3,640.60 | 0.932 | 195 | 1.237% | 658,131.10 |
| 02665VAF8 | | 654,000.00 | 07/14/2017 | — | 655,602.30 | 610.40 | | 658,565.74 | | CORP | | |
| BANK OF NEW YORK MELLON CORP | 1.969 | 500,000.00 | 02/01/2016 | — | 101.032 | 1,121.24 | -3,422.97 | 300.82 | 1.224 | 171 | 0.943% | 501,255.82 |
| 064058AA8 | | 500,000.00 | 06/20/2017 | — | 505,160.00 | 0.00 | | 502,037.85 | | CORP | | |
| BERKSHIRE HATHAWAY FINANCE CORP | 1.60 | 1,043,000.00 | 02/29/2016 | — | 100.866 | 4,820.98 | -6,287.85 | 2,132.36 | 0.879 | 135 | 1.968% | 1,046,801.16 |
| 084664BS9 | | 1,043,000.00 | 05/15/2017 | — | 1,052,032.38 | 0.00 | | 1,047,876.89 | | CORP | | |

HMCM-Portfolio Holdings

Base Currency: USD As of 12/31/2016

HMCM-Oakdale Irrigation Distri

Dated: 01/03/2017

Return to Table of Contents

| Description, Identifier | Coupon Rate | Current Face Value, Base Original Units | Settle Date, Effective Maturity | Next Call Date | Original Price, Base Original Cost | Original Purchased, Remaining Original Purchase Accrued | Net Accumulated Amortization/ Accretion | Accrued Balance, Book Value + Accrued | Book Yield | Days Left to Effective Maturity, Security Type | % Of Book Value + Accrued | Base Market Value + Accrued |
|--|-------------|---|---------------------------------|----------------|------------------------------------|---|---|---------------------------------------|------------|--|---------------------------|-----------------------------|
| CHEVRON CORP 166764AK6 | 1.076 | 1,055,000.00 | 02/23/2016 | — | 99.106 | 161.69 | 4,678.48 | 1,481.59 | 1.61 | 319 CORP | 1.976% | 1,054,392.69 |
| JOHN DEERE CAPITAL CORP 24422ERW1 | 1.20 | 1,066,000.00 | 02/26/2016 | — | 1,045,568.30 | 4,832.53 | 563.79 | 1,051,728.37 | 1.263 | 283 CORP | 2.007% | 1,068,302.56 |
| JOHN DEERE CAPITAL CORP 24422ERW1 | 1.20 | 485,000.00 | 08/08/2016 | — | 1,064,923.34 | 1,907.67 | -511.22 | 1,068,365.33 | 0.934 | 283 CORP | 0.915% | 486,047.60 |
| INTERNATIONAL BUSINESS MACHINES CORP 459200HZ7 | 1.125 | 1,500,000.00 | 02/06/2018 | — | 486,498.65 | 421.88 | -1,305.06 | 487,296.93 | 0.894 | 402 CORP | 2.838% | 1,503,286.88 |
| ROYAL BANK OF CANADA 78010UD20 | 1.25 | 1,000,000.00 | 08/05/2016 | — | 100,338 | 1,701.39 | -771.02 | 6,796.88 | 1.06 | 167 CORP | 1.861% | 999,230.83 |
| ROYAL BANK OF CANADA 78010UD20 | 1.25 | 1,000,000.00 | 01/28/2016 | — | 1,001,630.00 | 1,458.33 | 60.42 | 1,001,379.82 | 1.256 | 167 CORP | 1.879% | 999,230.83 |
| U.S. BANCORP 91159HD5 | 1.65 | 1,000,000.00 | 05/13/2016 | 04/15/2017 | 999,910.00 | 8,158.33 | -4,867.42 | 1,000,491.25 | 0.882 | 105 CORP | 1.886% | 1,002,118.33 |
| WELLS FARGO & CO 943748FD7 | 2.10 | 1,100,000.00 | 06/15/2016 | — | 1,007,040.00 | 2,374.17 | -6,068.50 | 2,108.33 | 1.087 | 128 CORP | 2.080% | 1,105,600.83 |
| — | 1.402 | 10,403,000.00 | — | — | 100,293 | 27,568.61 | -18,608.50 | 25,090.77 | 1.092 | 222 CORP | 19.611% | 10,424,398.63 |
| — | | 10,403,000.00 | 08/10/2017 | — | 10,433,356.97 | 1,032.28 | | 10,439,839.24 | | | | |

CP

| Description, Identifier | Coupon Rate | Current Face Value, Base Original Units | Settle Date, Effective Maturity | Next Call Date | Original Price, Base Original Cost | Original Purchased, Remaining Original Purchase Accrued | Net Accumulated Amortization/ Accretion | Accrued Balance, Book Value + Accrued | Book Yield | Days Left to Effective Maturity, Security Type | % Of Book Value + Accrued | Base Market Value + Accrued |
|--|-------------|---|---------------------------------|----------------|------------------------------------|---|---|---------------------------------------|------------|--|---------------------------|-----------------------------|
| Apple Inc. 03785DQ16 | 0.00 | 1,675,000.00 | 11/21/2016 | — | 99.738 | 0.00 | 1,430.73 | 0.00 | 0.752 | 86 CP | 3.141% | 1,672,033.86 |
| Apple Inc. 03785DQX7 | 0.00 | 650,000.00 | 11/30/2016 | — | 1,670,603.13 | 0.00 | 439.11 | 1,672,033.86 | 0.762 | 90 CP | 1.219% | 648,778.72 |
| The Bank of Nova Scotia 06417JNW8 | 0.00 | 1,800,000.00 | 05/12/2016 | — | 648,339.61 | 0.00 | 11,466.00 | 648,778.72 | 0.986 | 30 CP | 3.379% | 1,798,579.00 |
| The Bank of Nova Scotia 06417JQH8 | 0.00 | 700,000.00 | 09/02/2016 | — | 99,284 | 0.00 | 2,588.05 | 1,798,579.00 | 1.106 | 76 CP | 1.312% | 698,395.83 |
| The Province of British Columbia, Government of 11070JQ6 | 0.00 | 1,500,000.00 | 12/12/2016 | — | 695,807.78 | 0.00 | 691.67 | 698,395.83 | 0.833 | 83 CP | 2.812% | 1,497,164.17 |
| Chevron Corporation 16677JR32 | 0.00 | 950,000.00 | 08/05/2016 | — | 1,496,472.50 | 0.00 | 3,420.79 | 1,497,164.17 | 0.874 | 93 CP | 1.781% | 947,887.83 |
| The Coca-Cola Company 19121AJA7 | 0.00 | 1,350,000.00 | 11/09/2016 | — | 94,467.04 | 0.00 | 1,828.50 | 947,887.83 | 0.925 | 191 CP | 2.524% | 1,343,445.00 |
| Microsoft Corporation 59515MR49 | 0.00 | 1,250,000.00 | 10/31/2016 | — | 1,341,616.50 | 0.00 | 1,851.39 | 1,343,445.00 | 0.853 | 94 CP | 2.343% | 1,247,431.95 |
| Toyota Motor Credit Corporation 89233GP75 | 0.00 | 700,000.00 | 09/02/2016 | — | 1,245,580.56 | 0.00 | 1,064.86 | 1,247,431.95 | 0.954 | 38 CP | 1.314% | 698,316.53 |
| Toyota Motor Credit Corporation 89233GP75 | 0.00 | 1,800,000.00 | 05/13/2016 | — | 817,134.56 | 0.00 | 11,650.00 | 699,316.53 | 1.006 | 38 CP | 3.378% | 1,798,242.50 |
| — | 0.00 | 13,195,000.00 | — | — | 99,513 | 0.00 | 39,666.24 | 13,195,000.00 | 0.901 | 80 CP | 24.738% | 13,169,474.81 |
| — | | 13,195,000.00 | 03/21/2017 | — | 13,130,716.07 | 0.00 | | 13,169,382.31 | | | | |

MMFUND

HMCM-Portfolio Holdings

Base Currency: USD As of 12/31/2016

HMCM-Oakdale Irrigation Distri

Dated: 01/03/2017

[Return to Table of Contents](#)

| Description, Identifier | Coupon Rate | Current Face Value, Base Original Units | Settle Date, Effective Maturity | Next Call Date | Original Price, Base Original Cost | Original Purchased, Remaining Original Purchase Accrued | Net Accumulated Amortization/ Accretion | Accrued Balance, Book Value + Accrued | Book Yield | Days Left to Effective Maturity, Security Type | % Of Book Value + Accrued | Base Market Value + Accrued |
|---|-------------|---|---------------------------------|----------------|------------------------------------|---|---|---------------------------------------|------------|--|---------------------------|-----------------------------|
| FIDELITY INST : GOV PT CL I MMF 316175108 | 0.39 | 54,648.35 | 12/21/2016 | — | 1.00 | 0.00 | 0.00 | 54,648.35 | 0.40 | 0 | 0.103% | 54,648.35 |
| FIDELITY INST : GOV PT CL I MMF 316175108 | 0.39 | 54,648.35 | 12/21/2016 | — | 1.00 | 0.00 | 0.00 | 54,648.35 | 0.40 | 0 | 0.103% | 54,648.35 |
| Summary | | | | | | | | | | | | |
| | 0.275 | 53,178,000.00 | — | — | 99.795 | 27,568.61 | 32,991.19 | 25,090.77 | 0.667 | 77 | 100.000% | 53,221,970.98 |
| | | 53,232,660.69 | 03/18/2017 | | 53,177,445.55 | 1,032.28 | | 53,235,527.51 | | | | |

* Grouped by: Security Type. * Groups Sorted by: Security Type. * Weighted by: Base Market Value + Accrued, except Book Yield by Base Book Value + Accrued.

* Days Left to Effective Maturity = [Effective Maturity] - [As Of Date], Summary Calculation: Weighted Average.

HMCM-Earnings Report

Base Currency: USD 12/01/2016 - 12/31/2016

HMCM-Oakdale Irrigation Distri

[Return to Table of Contents](#)

Dated: 01/03/2017

AGCY DISC

| Security Type | Identifier, Description | Coupon Rate | Effective Maturity | Settle Date | Current Face Value | Original Price | Ending Original Cost | Ending Accrued Balance | Change In Accrued Balance | Change In Cash, Payables, Receivables | Interest Income | Ending Net Accumulated Amortization/ Accretion/ Net Amortization/ Accretion Income |
|---------------|--------------------------------------|-------------|--------------------|-------------|--------------------|----------------|----------------------|------------------------|---------------------------|---------------------------------------|-----------------|--|
| AGCY DISC | 313384S42 FEDERAL HOME LOAN BANKS | 0.00 | 12/07/2016 | 09/09/2016 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| AGCY DISC | 313384S42 FEDERAL HOME LOAN BANKS | 0.00 | 12/07/2016 | 09/28/2016 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 262.50 |
| AGCY DISC | 313384S59 FEDERAL HOME LOAN BANKS | 0.00 | 12/08/2016 | 08/11/2016 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 158.62 |
| AGCY DISC | 313384U23 FEDERAL HOME LOAN BANKS | 0.00 | 12/21/2016 | 09/02/2016 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 84.00 |
| AGCY DISC | 313385AD8 FEDERAL HOME LOAN BANKS | 0.00 | 01/04/2017 | 10/05/2016 | 2,600,000.00 | 99.914 | 2,597,765.44 | 0.00 | 0.00 | 0.00 | 0.00 | 937.79 |
| AGCY DISC | 313385AE6 FEDERAL HOME LOAN BANKS | 0.00 | 01/05/2017 | 10/12/2016 | 600,000.00 | 99.915 | 599,490.00 | 0.00 | 0.00 | 0.00 | 0.00 | 2,160.89 |
| AGCY DISC | 313385AL0 FEDERAL HOME LOAN BANKS | 0.00 | 01/11/2017 | 11/18/2016 | 550,000.00 | 99.938 | 549,661.75 | 0.00 | 0.00 | 0.00 | 0.00 | 761.22 |
| AGCY DISC | 313385AL0 FEDERAL HOME LOAN BANKS | 0.00 | 01/11/2017 | 11/18/2016 | 2,575,000.00 | 99.939 | 2,573,416.38 | 0.00 | 0.00 | 0.00 | 0.00 | 186.00 |
| AGCY DISC | 313385AM8 FEDERAL HOME LOAN BANKS | 0.00 | 01/12/2017 | 10/12/2016 | 300,000.00 | 99.903 | 299,708.67 | 0.00 | 0.00 | 0.00 | 0.00 | 275.61 |
| AGCY DISC | 313385AS5 FEDERAL HOME LOAN BANKS | 0.00 | 01/17/2017 | 09/30/2016 | 800,000.00 | 99.911 | 799,285.44 | 0.00 | 0.00 | 0.00 | 0.00 | 194.18 |
| AGCY DISC | 313385AY2 FEDERAL HOME LOAN BANKS | 0.00 | 01/23/2017 | 12/07/2016 | 4,000,000.00 | 99.948 | 3,997,911.11 | 0.00 | 0.00 | 0.00 | 0.00 | 1,290.36 |
| AGCY DISC | 313385BA3 FEDERAL HOME LOAN BANKS | 0.00 | 01/25/2017 | 11/30/2016 | 2,400,000.00 | 99.921 | 424,666.20 | 0.00 | 0.00 | 0.00 | 0.00 | 909.12 |
| AGCY DISC | 313385BA3 FEDERAL HOME LOAN BANKS | 0.00 | 01/25/2017 | 10/03/2016 | 630,000.00 | 99.899 | 629,361.60 | 0.00 | 0.00 | 0.00 | 0.00 | 256.50 |
| AGCY DISC | 313385BA3 FEDERAL HOME LOAN BANKS | 0.00 | 01/25/2017 | 12/07/2016 | 4,025,000.00 | 99.946 | 4,022,808.61 | 0.00 | 0.00 | 0.00 | 0.00 | 98.17 |
| AGCY DISC | 313385BC9 FEDERAL HOME LOAN BANKS | 0.00 | 01/27/2017 | 11/04/2016 | 4,700,000.00 | 99.914 | 4,695,942.33 | 0.00 | 0.00 | 0.00 | 0.00 | 609.67 |
| AGCY DISC | 313385BC9 FEDERAL HOME LOAN BANKS | 0.00 | 01/27/2017 | 12/08/2016 | 1,225,000.00 | 99.936 | 1,224,217.36 | 0.00 | 0.00 | 0.00 | 0.00 | 203.22 |
| AGCY DISC | 313385BS4 FEDERAL HOME LOAN BANKS | 0.00 | 02/10/2017 | 12/21/2016 | 500,000.00 | 99.925 | 499,624.58 | 0.00 | 0.00 | 0.00 | 0.00 | 1,111.11 |
| AGCY DISC | 313385BX3 FEDERAL HOME LOAN BANKS | 0.00 | 02/15/2017 | 12/21/2016 | 4,250,000.00 | 99.919 | 4,246,562.22 | 0.00 | 0.00 | 0.00 | 0.00 | 1,111.11 |
| AGCY DISC | --- | 0.00 | 01/24/2017 | -- | 29,580,000.00 | 99.928 | 29,558,711.82 | 0.00 | 0.00 | 0.00 | 0.00 | 210.55 |
| AGCY DISC | FEDERAL HOME LOAN BANKS | | | | | | | | | | | 159.20 |
| AGCY DISC | FEDERAL HOME LOAN BANKS | | | | | | | | | | | 977.07 |
| AGCY DISC | FEDERAL HOME LOAN BANKS | | | | | | | | | | | 946.54 |
| AGCY DISC | FEDERAL HOME LOAN BANKS | | | | | | | | | | | 504.00 |
| AGCY DISC | FEDERAL HOME LOAN BANKS | | | | | | | | | | | 173.60 |
| AGCY DISC | FEDERAL HOME LOAN BANKS | | | | | | | | | | | 1,118.06 |
| AGCY DISC | FEDERAL HOME LOAN BANKS | | | | | | | | | | | 2,801.72 |
| AGCY DISC | FEDERAL HOME LOAN BANKS | | | | | | | | | | | 1,497.47 |
| AGCY DISC | FEDERAL HOME LOAN BANKS | | | | | | | | | | | 375.67 |
| AGCY DISC | FEDERAL HOME LOAN BANKS | | | | | | | | | | | 375.67 |
| AGCY DISC | FEDERAL HOME LOAN BANKS | | | | | | | | | | | 80.97 |
| AGCY DISC | FEDERAL HOME LOAN BANKS | | | | | | | | | | | 80.97 |
| AGCY DISC | FEDERAL HOME LOAN BANKS | | | | | | | | | | | 675.28 |
| AGCY DISC | FEDERAL HOME LOAN BANKS | | | | | | | | | | | 675.28 |
| AGCY DISC | --- | 0.00 | 01/24/2017 | -- | 29,580,000.00 | 99.928 | 29,558,711.82 | 0.00 | 0.00 | 0.00 | 0.00 | 12,933.46 |
| AGCY DISC | FEDERAL HOME LOAN BANKS | | | | | | | | | | | 9,932.72 |

CASH

| Security Type | Identifier, Description | Coupon Rate | Effective Maturity | Settle Date | Current Face Value | Original Price | Ending Original Cost | Ending Accrued Balance | Change In Accrued Balance | Change In Cash, Payables, Receivables | Interest Income | Ending Net Accumulated Amortization/ Accretion/ Net Amortization/ Accretion Income |
|---------------|-------------------------|-------------|--------------------|-------------|--------------------|----------------|----------------------|------------------------|---------------------------|---------------------------------------|-----------------|--|
| CASH | CCYUSD Receivable | 0.00 | 12/31/2016 | -- | 0.00 | 1.00 | 12.34 | 0.00 | 0.00 | -45.68 | 0.00 | 0.00 |
| CASH | CCYUSD Receivable | 0.00 | 12/31/2016 | -- | 0.00 | 1.00 | 12.34 | 0.00 | 0.00 | -45.68 | 0.00 | 0.00 |

HMCM-Earnings Report

Base Currency: USD 12/01/2016 - 12/31/2016

HMCM-Oakdale Irrigation Distri

Dated: 01/03/2017

[Return to Table of Contents](#)

CORP

| Security Type | Identifier, Description | Coupon Rate | Effective Maturity | Settle Date | Current Face Value | Original Price | Ending Original Cost | Ending Accrued Balance | Change In Accrued Balance | Change In Cash, Payables, Receivables | Interest Income | Ending Net Accumulated Amortization/ Accretion/ Net Amortization/ Accretion Income |
|---------------|--|-------------|--------------------|-------------|--------------------|----------------|----------------------|------------------------|---------------------------|---------------------------------------|-----------------|--|
| CORP | 02665WAF8 AMERICAN HONDA FINANCE CORP | 1.20 | 07/14/2017 | 08/12/2016 | 654,000.00 | 100.245 | 655,602.30 | 3,640.60 | 654.00 | 0.00 | 654.00 | -677.16 -147.83 |
| CORP | 064058AA8 BANK OF NEW YORK MELLON CORP | 1.969 | 06/20/2017 | 02/01/2016 | 500,000.00 | 101.032 | 505,160.00 | 300.82 | -4,102.08 | 0.00 | 820.42 | -3,422.97 -316.75 |
| CORP | 084664BS9 BERKSHIRE HATHAWAY FINANCE CORP | 1.60 | 05/15/2017 | 02/29/2016 | 1,043,000.00 | 100.866 | 1,052,032.38 | 2,132.36 | 1,390.67 | 0.00 | 1,390.67 | -6,287.85 -634.93 |
| CORP | 166764AK6 CHEVRON CORP | 1.076 | 11/15/2017 | 02/23/2016 | 1,055,000.00 | 99.106 | 1,045,568.30 | 1,481.59 | 977.22 | 0.00 | 977.22 | 4,678.48 463.36 |
| CORP | 24422ERW1 JOHN DEERE CAPITAL CORP | 1.20 | 10/10/2017 | 02/26/2016 | 1,066,000.00 | 99.899 | 1,064,923.34 | 2,878.20 | 1,066.00 | 0.00 | 1,066.00 | 563.79 56.38 |
| CORP | 24422ERW1 JOHN DEERE CAPITAL CORP | 1.20 | 10/10/2017 | 08/08/2016 | 485,000.00 | 100.309 | 486,498.65 | 1,309.50 | 485.00 | 0.00 | 485.00 | -511.22 -108.55 |
| CORP | 459200HZ7 INTERNATIONAL BUSINESS MACHINES CORP | 1.125 | 02/06/2018 | 08/15/2016 | 1,500,000.00 | 100.338 | 1,505,070.00 | 6,796.88 | 1,406.25 | 0.00 | 1,406.25 | -1,305.06 -291.06 |
| CORP | 78010UD20 ROYAL BANK OF CANADA | 1.25 | 06/16/2017 | 01/28/2016 | 1,000,000.00 | 99.991 | 999,910.00 | 520.83 | -5,208.33 | 0.00 | 1,041.67 | 60.42 5.52 |
| CORP | 78010UD20 ROYAL BANK OF CANADA | 1.25 | 06/16/2017 | 08/05/2016 | 1,000,000.00 | 100.163 | 1,001,630.00 | 520.83 | -5,208.33 | 0.00 | 1,041.67 | -771.02 -160.41 |
| CORP | 91159HDS U.S. BANKCORP | 1.65 | 04/15/2017 | 05/13/2016 | 1,000,000.00 | 100.704 | 1,007,040.00 | 2,108.33 | 1,375.00 | 0.00 | 1,375.00 | -4,867.42 -847.60 |
| CORP | 949748FD7 WELLS FARGO & CO | 2.10 | 05/08/2017 | 06/15/2016 | 1,100,000.00 | 100.902 | 1,109,922.00 | 3,400.83 | 1,925.00 | 0.00 | 1,925.00 | -6,068.50 -940.62 |
| CORP | -- | 1.402 | 08/10/2017 | -- | 10,403,000.00 | 100.293 | 10,433,356.97 | 25,090.77 | -5,239.62 | 0.00 | 12,182.88 | -19,608.50 -2,722.47 |

CP

| Security Type | Identifier, Description | Coupon Rate | Effective Maturity | Settle Date | Current Face Value | Original Price | Ending Original Cost | Ending Accrued Balance | Change In Accrued Balance | Change In Cash, Payables, Receivables | Interest Income | Ending Net Accumulated Amortization/ Accretion/ Net Amortization/ Accretion Income |
|---------------|---|-------------|--------------------|-------------|--------------------|----------------|----------------------|------------------------|---------------------------|---------------------------------------|-----------------|--|
| CP | 03785DQT6 Apple Inc. | 0.00 | 03/27/2017 | 11/21/2016 | 1,675,000.00 | 99.738 | 1,670,603.13 | 0.00 | 0.00 | 0.00 | 0.00 | 1,430.73 1,081.77 |
| CP | 03785DOX7 Apple Inc. | 0.00 | 03/31/2017 | 11/30/2016 | 650,000.00 | 99.745 | 648,339.61 | 0.00 | 0.00 | 0.00 | 0.00 | 439.11 425.39 |
| CP | 06417JNW8 The Bank of Nova Scotia | 0.00 | 01/30/2017 | 05/12/2016 | 1,800,000.00 | 99.284 | 1,787,113.00 | 0.00 | 0.00 | 0.00 | 0.00 | 11,466.00 1,519.00 |
| CP | 06417JQH8 The Bank of Nova Scotia | 0.00 | 03/17/2017 | 09/02/2016 | 700,000.00 | 99.401 | 695,807.78 | 0.00 | 0.00 | 0.00 | 0.00 | 2,588.05 663.06 |
| CP | 11070JQQ6 The Province of British Columbia, Government of | 0.00 | 03/24/2017 | 12/12/2016 | 1,500,000.00 | 99.765 | 1,496,472.50 | 0.00 | 0.00 | 0.00 | 0.00 | 691.67 691.67 |
| CP | 16677JR32 Chevron Corporation | 0.00 | 04/03/2017 | 08/05/2016 | 950,000.00 | 99.418 | 944,467.04 | 0.00 | 0.00 | 0.00 | 0.00 | 3,420.79 711.71 |
| CP | 19121AU7 The Coca-Cola Company | 0.00 | 07/10/2017 | 11/09/2016 | 1,350,000.00 | 99.379 | 1,341,616.50 | 0.00 | 0.00 | 0.00 | 0.00 | 1,828.50 1,068.50 |
| CP | 59515MQJ2 Microsoft Corporation | 0.00 | 03/28/2017 | 10/31/2016 | 1,250,000.00 | 99.646 | 1,245,580.56 | 0.00 | 0.00 | 0.00 | 0.00 | 1,851.39 925.69 |
| CP | 59515MR49 Microsoft Corporation | 0.00 | 04/04/2017 | 11/07/2016 | 820,000.00 | 99.651 | 817,134.56 | 0.00 | 0.00 | 0.00 | 0.00 | 1,064.86 600.19 |
| CP | 7443M2MC7 Prudential Public Limited Company | 0.00 | 12/12/2016 | 08/05/2016 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 371.25 |

HCMC-Earnings Report

Base Currency: USD 12/01/2016 - 12/31/2016

HCMC-Oakdale Irrigation Distri

[Return to Table of Contents](#)

Dated: 01/03/2017

| Security Type | Identifier Description | Coupon Rate | Effective Maturity | Settle Date | Current Face Value | Original Price | Ending Original Cost | Ending Accrued Balance | Change In Accrued Balance | Change In Cash, Payables, Receivables | Interest Income | Ending Net Accumulated Amortization/ Accretion Income |
|---------------|--|-------------|--------------------|-------------|--------------------|----------------|----------------------|------------------------|---------------------------|---------------------------------------|-----------------|---|
| CP | 89233GP75 Toyota Motor Credit Corporation | 0.00 | 02/07/2017 | 09/02/2016 | 700,000.00 | 99.583 | 697,081.39 | 0.00 | 0.00 | 0.00 | 0.00 | 2,235.14 572.64 |
| CP | 89233GP75 Toyota Motor Credit Corporation | 0.00 | 02/07/2017 | 05/13/2016 | 1,800,000.00 | 99.25 | 1,786,500.00 | 0.00 | 0.00 | 0.00 | 0.00 | 11,650.00 1,550.00 |
| CP | -- | 0.00 | 03/21/2017 | -- | 13,195,000.00 | 99.513 | 13,130,716.07 | 0.00 | 0.00 | 0.00 | 0.00 | 38,966.24 10,181.86 |

MMFUND

| Security Type | Identifier Description | Coupon Rate | Effective Maturity | Settle Date | Current Face Value | Original Price | Ending Original Cost | Ending Accrued Balance | Change In Accrued Balance | Change In Cash, Payables, Receivables | Interest Income | Ending Net Accumulated Amortization/ Accretion Income |
|---------------|--|-------------|--------------------|-------------|--------------------|----------------|----------------------|------------------------|---------------------------|---------------------------------------|-----------------|---|
| MMFUND | 316175108 FIDELITY INST : GOV PT CL I MMF | 0.39 | 12/31/2016 | -- | 0.00 | 1.00 | 54,648.35 | 0.00 | 0.00 | 0.00 | 12.32 | 0.00 0.00 |
| MMFUND | 316175108 FIDELITY INST : GOV PT CL I MMF | 0.39 | 12/31/2016 | -- | 0.00 | 1.00 | 54,648.35 | 0.00 | 0.00 | 0.00 | 12.32 | 0.00 0.00 |

Summary

| Security Type | Identifier Description | Coupon Rate | Effective Maturity | Settle Date | Current Face Value | Original Price | Ending Original Cost | Ending Accrued Balance | Change In Accrued Balance | Change In Cash, Payables, Receivables | Interest Income | Ending Net Accumulated Amortization/ Accretion Income |
|---------------|------------------------|-------------|--------------------|-------------|--------------------|----------------|----------------------|------------------------|---------------------------|---------------------------------------|-----------------|---|
| -- | -- | 0.275 | 03/18/2017 | -- | 53,176,000.00 | 99.795 | 53,177,445.55 | 25,090.77 | -5,239.62 | -45.68 | 12,195.20 | 32,991.19 17,392.11 |

* Grouped by: Security Type * Groups Sorted by: Security Type * Weighted by: Ending Base Market Value + Accrued. * Holdings Displayed by: Lot

HMCM-Transaction Register

Base Currency: USD 12/01/2016 - 12/31/2016

HMCM-Oakdale Irrigation Distri

Return to Table of Contents

Dated: 01/03/2017

* Does not Lock Down.

Buy

| Trade Date, Settle Date | Current Units | Description, Identifier | Status, Fed Tax | Coupon Rate | Final Maturity | Principal | Management Fees | Transfers In/Out | Purchased Accrued Income, Sold | Change In Accrued Income | Net Accumulated Amortization/ Accretion | Realized Gain/ Loss | Amount |
|----------------------------|---------------|--|--------------------|----------------|-------------------|---------------|--------------------|------------------|---|-----------------------------|---|------------------------|----------------|
| 12/01/2016 12/01/2016 | 58.00 | FIDELITY INST : GOV PT CL I MMF 316175108 | Settled Y | 0.39 | 12/31/2016 | 58.00 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | -58.00 |
| 12/07/2016 12/07/2016 | 8,025,000.00 | FIDELITY INST : GOV PT CL I MMF 316175108 | Settled Y | 0.39 | 12/31/2016 | 8,025,000.00 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | -8,025,000.00 |
| 12/07/2016 12/07/2016 | 4,000,000.00 | FEDERAL HOME LOAN BANKS 313385AY2 | Settled Y | 0.00 | 01/23/2017 | 3,997,911.11 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | -3,997,911.11 |
| 12/07/2016 12/07/2016 | 4,025,000.00 | FEDERAL HOME LOAN BANKS 313385BA3 | Settled Y | 0.00 | 01/25/2017 | 4,022,808.61 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | -4,022,808.61 |
| 12/08/2016 12/08/2016 | 1,200,000.00 | FIDELITY INST : GOV PT CL I MMF 316175108 | Settled Y | 0.39 | 12/31/2016 | 1,200,000.00 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | -1,200,000.00 |
| 12/08/2016 12/08/2016 | 1,225,000.00 | FEDERAL HOME LOAN BANKS 313385BC9 | Settled Y | 0.00 | 01/27/2017 | 1,224,217.36 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | -1,224,217.36 |
| 12/12/2016 12/12/2016 | 1,500,000.00 | The Province of British Columbia, 11070JQC6 | Settled Y | 0.00 | 03/24/2017 | 1,496,472.50 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | -1,496,472.50 |
| 12/12/2016 12/12/2016 | 1,500,000.00 | FIDELITY INST : GOV PT CL I MMF 316175108 | Settled Y | 0.39 | 12/31/2016 | 1,500,000.00 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | -1,500,000.00 |
| 12/19/2016 12/19/2016 | 12,500.00 | FIDELITY INST : GOV PT CL I MMF 316175108 | Settled Y | 0.39 | 12/31/2016 | 12,500.00 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | -12,500.00 |
| 12/20/2016 12/20/2016 | 4,922.50 | FIDELITY INST : GOV PT CL I MMF 316175108 | Settled Y | 0.39 | 12/31/2016 | 4,922.50 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | -4,922.50 |
| 12/21/2016 12/21/2016 | 4,755,000.00 | FIDELITY INST : GOV PT CL I MMF 316175108 | Settled Y | 0.39 | 12/31/2016 | 4,755,000.00 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | -4,755,000.00 |
| 12/21/2016 12/21/2016 | 4,250,000.00 | FEDERAL HOME LOAN BANKS 313385BX3 | Settled Y | 0.00 | 02/15/2017 | 4,246,562.22 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | -4,246,562.22 |
| 12/21/2016 12/21/2016 | 500,000.00 | FEDERAL HOME LOAN BANKS 313385BS4 | Settled Y | 0.00 | 02/10/2017 | 499,624.58 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | -499,624.58 |
| -- | 30,997,480.50 | -- | Settled Y | -- | 01/19/2017 | 30,985,076.88 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | -30,985,076.88 |

Coupon

| Trade Date, Settle Date | Current Units | Description, Identifier | Status, Fed Tax | Coupon Rate | Final Maturity | Principal | Management Fees | Transfers In/Out | Purchased Accrued Income, Sold | Change In Accrued Income | Net Accumulated Amortization/ Accretion | Realized Gain/ Loss | Amount |
|----------------------------|---------------|--|--------------------|----------------|-------------------|-----------|--------------------|------------------|---|-----------------------------|---|------------------------|-----------|
| 12/16/2016 12/16/2016 | 0.00 | ROYAL BANK OF CANADA 78010UD20 | Settled Y | 1.25 | 06/16/2017 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 12,500.00 |
| 12/20/2016 12/20/2016 | 0.00 | BANK OF NEW YORK MELLON CORP 064058AA8 | Settled Y | 1.969 | 06/20/2017 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 4,922.50 |
| -- | 0.00 | -- | Settled Y | -- | -- | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 17,422.50 |

Maturity

| Trade Date, Settle Date | Current Units | Description, Identifier | Status, Fed Tax | Coupon Rate | Final Maturity | Principal | Management Fees | Transfers In/Out | Purchased Accrued Income, Sold | Change In Accrued Income | Net Accumulated Amortization/ Accretion | Realized Gain/ Loss | Amount |
|----------------------------|---------------|--------------------------------------|--------------------|----------------|-------------------|---------------|--------------------|------------------|---|-----------------------------|---|------------------------|--------------|
| 12/07/2016 12/07/2016 | -8,025,000.00 | FEDERAL HOME LOAN BANKS 313384S42 | Settled Y | 0.00 | 12/07/2016 | -8,025,000.00 | 0.00 | 0.00 | 0.00 | 0.00 | -5,744.37 | 0.00 | 8,025,000.00 |
| 12/08/2016 12/08/2016 | -1,200,000.00 | FEDERAL HOME LOAN BANKS 313384S59 | Settled Y | 0.00 | 12/08/2016 | -1,200,000.00 | 0.00 | 0.00 | 0.00 | 0.00 | -1,428.00 | 0.00 | 1,200,000.00 |

HMCN-Transaction Register

Base Currency: USD 12/01/2016 - 12/31/2016

HMCN-Oakdale Irrigation Distri

Dated: 01/03/2017

[Return to Table of Contents](#)

| Trade Date, Settle Date | Current Units | Description, Identifier | Status, Fed Tax | Coupon Rate | Final Maturity | Principal | Management Fees | Transfers In/Out | Purchased Accrued Income, Sold Accrued Income | Change In Accrued Income | Net Accumulated Amortization/ Accretion | Realized Gain/ Loss | Amount |
|----------------------------|----------------|--|--------------------|----------------|-------------------|----------------|--------------------|------------------|---|-----------------------------|---|------------------------|---------------|
| 12/12/2016 | -1,500,000.00 | Prudential Public Limited Company 7443M2MC7 | Settled Y | 0.00 | 12/12/2016 | -1,500,000.00 | 0.00 | 0.00 | 0.00 | 0.00 | -4,353.75 | 0.00 | 1,500,000.00 |
| 12/21/2016 | -4,755,000.00 | FEDERAL HOME LOAN BANKS 313384U23 | Settled Y | 0.00 | 12/21/2016 | -4,755,000.00 | 0.00 | 0.00 | 0.00 | 0.00 | -5,157.85 | 0.00 | 4,755,000.00 |
| -- | -15,480,000.00 | -- | Settled Y | 0.00 | 12/12/2016 | -15,480,000.00 | 0.00 | 0.00 | 0.00 | 0.00 | -16,683.97 | 0.00 | 15,480,000.00 |

Money Market Funds

| Trade Date, Settle Date | Current Units | Description, Identifier | Status, Fed Tax | Coupon Rate | Final Maturity | Principal | Management Fees | Transfers In/Out | Purchased Accrued Income, Sold Accrued Income | Change In Accrued Income | Net Accumulated Amortization/ Accretion | Realized Gain/ Loss | Amount |
|----------------------------|---------------|--|--------------------|----------------|-------------------|-----------|--------------------|------------------|---|-----------------------------|---|------------------------|--------|
| 12/30/2016 | 0.00 | FIDELITY INST : GOV PT CL I MMF 316175108 | Receivable Y | 0.39 | 12/31/2016 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 12.34 |
| 12/30/2016 | 0.00 | FIDELITY INST : GOV PT CL I MMF 316175108 | Receivable Y | 0.39 | 12/31/2016 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 12.34 |

Sell

| Trade Date, Settle Date | Current Units | Description, Identifier | Status, Fed Tax | Coupon Rate | Final Maturity | Principal | Management Fees | Transfers In/Out | Purchased Accrued Income, Sold Accrued Income | Change In Accrued Income | Net Accumulated Amortization/ Accretion | Realized Gain/ Loss | Amount |
|----------------------------|----------------|--|--------------------|----------------|-------------------|----------------|--------------------|------------------|---|-----------------------------|---|------------------------|---------------|
| 12/07/2016 | -8,020,719.72 | FIDELITY INST : GOV PT CL I MMF 316175108 | Settled Y | 0.39 | 12/31/2016 | -8,020,719.72 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 8,020,719.72 |
| 12/09/2016 | -1,224,217.36 | FIDELITY INST : GOV PT CL I MMF 316175108 | Settled Y | 0.39 | 12/31/2016 | -1,224,217.36 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 1,224,217.36 |
| 12/12/2016 | -1,496,472.50 | FIDELITY INST : GOV PT CL I MMF 316175108 | Settled Y | 0.39 | 12/31/2016 | -1,496,472.50 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 1,496,472.50 |
| 12/21/2016 | -4,746,186.80 | FIDELITY INST : GOV PT CL I MMF 316175108 | Settled Y | 0.39 | 12/31/2016 | -4,746,186.80 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 4,746,186.80 |
| -- | -15,487,596.38 | FIDELITY INST : GOV PT CL I MMF 316175108 | Settled Y | 0.39 | 12/31/2016 | -15,487,596.38 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 15,487,596.38 |

Summary

| Trade Date, Settle Date | Current Units | Description, Identifier | Status, Fed Tax | Coupon Rate | Final Maturity | Principal | Management Fees | Transfers In/Out | Purchased Accrued Income, Sold Accrued Income | Change In Accrued Income | Net Accumulated Amortization/ Accretion | Realized Gain/ Loss | Amount |
|----------------------------|---------------|----------------------------|--------------------|----------------|-------------------|-----------|--------------------|------------------|---|-----------------------------|---|------------------------|--------|
| -- | 29,884.12 | -- | -- Y | -- | 01/04/2017 | 17,480.50 | 0.00 | 0.00 | 0.00 | 0.00 | -16,683.97 | 0.00 | -45.56 |

* Grouped by: Transaction Type. * Groups Sorted by: Transaction Type. * Showing transactions with Trade Date within selected date range. * MMF transactions are expanded.

* The Transaction Detail/Trading Activity reports provide our most up-to-date transactional details. As such, these reports are subject to change even after the other reports on the website have been locked down. While these reports can be useful tools in understanding recent activity, due to their dynamic nature we do not recommend using them for booking journal entries or reconciliation.

HMCB-FASB 95/115 Portfolio Statement

Base Currency: USD As of 12/31/2016

HMCB-Oakdale Irrigation Distri

Return to Table of Contents

Dated: 01/03/2017

CE

| Base Current Face Value | Description | Identifier, Security Type | Coupon Rate | Effective Maturity, Final | Original Cost | Book Value | Market Price | Base Market Value | Net Unrealized Gain/Loss | Base Market Value + Accrued, Balance | % of Market Value + Accrued | WAL | Book Yield |
|-------------------------|---------------------------------|---------------------------|-------------|---------------------------|---------------|---------------|--------------|-------------------|--------------------------|--------------------------------------|-----------------------------|-------|------------|
| 0.00 | FIDELITY INST : GOV PT CL I MMF | 316175108 MMFUND | 0.39 | 12/31/2016 | 54,648.35 | 54,648.35 | 1.0000 | 54,648.35 | 0.00 | 54,648.35 | 0.103% | 0.00 | 0.40 |
| 0.00 | Receivable | CCYUSD | 0.00 | 12/31/2016 | 12.34 | 12.34 | 1.0000 | 12.34 | 0.00 | 12.34 | 0.000% | 0.00 | 0.00 |
| 600,000.00 | FEDERAL HOME LOAN BANKS | 313385AE6 AGCY DISC | 0.00 | 01/05/2017 | 599,490.00 | 599,976.00 | 99.9980 | 599,988.00 | 12.00 | 599,988.00 | 1.127% | 0.014 | 0.36 |
| 550,000.00 | FEDERAL HOME LOAN BANKS | 313385AL0 AGCY DISC | 0.00 | 01/11/2017 | 549,661.75 | 549,937.36 | 99.9920 | 549,956.00 | 18.64 | 549,956.00 | 1.033% | 0.03 | 0.411 |
| 2,575,000.00 | FEDERAL HOME LOAN BANKS | 313385AL0 AGCY DISC | 0.00 | 01/11/2017 | 2,573,416.38 | 2,574,706.74 | 99.9920 | 2,574,794.00 | 87.26 | 2,574,794.00 | 4.838% | 0.03 | 0.411 |
| 4,000,000.00 | FEDERAL HOME LOAN BANKS | 313385AY2 AGCY DISC | 0.00 | 01/23/2017 | 3,997,911.11 | 3,999,022.22 | 99.9790 | 3,999,160.00 | 137.78 | 3,999,160.00 | 7.514% | 0.063 | 0.401 |
| 425,000.00 | FEDERAL HOME LOAN BANKS | 313385BA3 AGCY DISC | 0.00 | 01/25/2017 | 424,666.20 | 424,876.75 | 99.9770 | 424,902.25 | 25.50 | 424,902.25 | 0.798% | 0.068 | 0.436 |
| 2,400,000.00 | FEDERAL HOME LOAN BANKS | 313385BA3 AGCY DISC | 0.00 | 01/25/2017 | 2,398,290.13 | 2,399,267.20 | 99.9770 | 2,399,448.00 | 180.80 | 2,399,448.00 | 4.508% | 0.068 | 0.459 |
| 4,025,000.00 | FEDERAL HOME LOAN BANKS | 313385BA3 AGCY DISC | 0.00 | 01/25/2017 | 4,022,808.61 | 4,023,926.67 | 99.9770 | 4,024,074.25 | 147.58 | 4,024,074.25 | 7.561% | 0.068 | 0.401 |
| 4,700,000.00 | FEDERAL HOME LOAN BANKS | 313385BC9 AGCY DISC | 0.00 | 01/27/2017 | 4,695,942.33 | 4,698,744.05 | 99.9750 | 4,698,825.00 | 80.95 | 4,698,825.00 | 8.829% | 0.074 | 0.371 |
| 1,225,000.00 | FEDERAL HOME LOAN BANKS | 313385BC9 AGCY DISC | 0.00 | 01/27/2017 | 1,224,217.36 | 1,224,593.03 | 99.9750 | 1,224,693.75 | 100.72 | 1,224,693.75 | 2.301% | 0.074 | 0.461 |
| 500,000.00 | FEDERAL HOME LOAN BANKS | 313385BS4 AGCY DISC | 0.00 | 02/10/2017 | 499,624.58 | 499,705.55 | 99.9600 | 499,800.00 | 94.45 | 499,800.00 | 0.939% | 0.112 | 0.531 |
| 4,250,000.00 | FEDERAL HOME LOAN BANKS | 313385BX3 AGCY DISC | 0.00 | 02/15/2017 | 4,246,562.22 | 4,247,237.50 | 99.9550 | 4,248,087.50 | 850.00 | 4,248,087.50 | 7.982% | 0.126 | 0.521 |
| 25,250,000.00 | -- | -- | 0.001 | 01/27/2017 | 25,287,251.36 | 25,296,653.76 | 99.7613 | 25,298,389.44 | 1,735.68 | 25,298,389.44 | 47.534% | 0.073 | 0.427 |
| | | | | 01/27/2017 | | | | | | 0.00 | | | |

ST

| Base Current Face Value | Description | Identifier, Security Type | Coupon Rate | Effective Maturity, Final | Original Cost | Book Value | Market Price | Base Market Value | Net Unrealized Gain/Loss | Base Market Value + Accrued, Balance | % of Market Value + Accrued | WAL | Book Yield |
|-------------------------|---|---------------------------|-------------|---------------------------|---------------|--------------|--------------|-------------------|--------------------------|--------------------------------------|-----------------------------|-------|------------|
| 2,600,000.00 | FEDERAL HOME LOAN BANKS | 313385AD8 AGCY DISC | 0.00 | 01/04/2017 | 2,597,765.44 | 2,599,926.33 | 100.0000 | 2,600,000.00 | 73.67 | 2,600,000.00 | 4.885% | 0.011 | 0.34 |
| 300,000.00 | FEDERAL HOME LOAN BANKS | 313385AM8 AGCY DISC | 0.00 | 01/12/2017 | 299,708.67 | 299,985.17 | 99.9910 | 299,973.00 | 7.83 | 299,973.00 | 0.564% | 0.033 | 0.381 |
| 800,000.00 | FEDERAL HOME LOAN BANKS | 313385AS5 AGCY DISC | 0.00 | 01/17/2017 | 799,285.44 | 799,895.11 | 99.9850 | 799,880.00 | -15.11 | 799,880.00 | 1.503% | 0.047 | 0.295 |
| 630,000.00 | FEDERAL HOME LOAN BANKS | 313385BA3 AGCY DISC | 0.00 | 01/25/2017 | 629,361.60 | 629,865.60 | 99.9770 | 629,855.10 | -10.50 | 629,855.10 | 1.183% | 0.068 | 0.32 |
| 1,800,000.00 | The Bank of Nova Scotia | 06417JNW8 CP | 0.00 | 01/30/2017 | 1,787,113.00 | 1,798,579.00 | 99.9211 | 1,798,579.00 | 0.00 | 1,798,579.00 | 3.379% | 0.082 | 0.986 |
| 700,000.00 | Toyota Motor Credit Corporation | 89233GP75 CP | 0.00 | 02/07/2017 | 697,081.39 | 699,316.53 | 99.9024 | 699,316.53 | 0.00 | 699,316.53 | 1.314% | 0.104 | 0.954 |
| 1,800,000.00 | Toyota Motor Credit Corporation | 89233GP75 CP | 0.00 | 02/07/2017 | 1,786,500.00 | 1,798,150.00 | 99.9024 | 1,798,242.50 | 92.50 | 1,798,242.50 | 3.379% | 0.104 | 1.006 |
| 700,000.00 | The Bank of Nova Scotia | 06417JQH8 CP | 0.00 | 03/17/2017 | 695,807.78 | 698,395.83 | 99.7708 | 698,395.83 | 0.00 | 698,395.83 | 1.312% | 0.208 | 1.106 |
| 1,500,000.00 | The Province of British Columbia, Government of | 11070UQ6 CP | 0.00 | 03/24/2017 | 1,496,472.50 | 1,497,164.17 | 99.8109 | 1,497,164.17 | 0.00 | 1,497,164.17 | 2.813% | 0.227 | 0.833 |
| 1,675,000.00 | Apple Inc. | 03785DQ16 CP | 0.00 | 03/27/2017 | 1,670,603.13 | 1,672,033.86 | 99.8229 | 1,672,033.86 | 0.00 | 1,672,033.86 | 3.142% | 0.236 | 0.752 |
| 1,250,000.00 | Microsoft Corporation | 59515MUQ2 CP | 0.00 | 03/28/2017 | 1,245,580.56 | 1,247,431.95 | 99.7946 | 1,247,431.95 | 0.00 | 1,247,431.95 | 2.344% | 0.238 | 0.863 |

HMCB-FASB 95/115 Portfolio Statement

Base Currency: USD As of 12/31/2016

HMCB-Oakdale Irrigation Distri

Dated: 01/03/2017

Return to Table of Contents

| Base Current Face Value | Description | Identifier, Security Type | Coupon Rate | Effective Maturity, Final Maturity | Original Cost | Book Value | Market Price | Base Market Value | Net Unrealized Gain/Loss | Base Market Value + Accrued Balance | % of Market Value + Accrued | WAL | Book Yield |
|-------------------------|---------------------------------|---------------------------|-------------|------------------------------------|---------------|---------------|--------------|-------------------|--------------------------|-------------------------------------|-----------------------------|-------|------------|
| 650,000.00 | Apple Inc. | 03785DQX7 CP | 0.00 | 03/31/2017 | 648,339.61 | 648,778.72 | 99.8121 | 648,778.72 | 0.00 | 648,778.72 | 1.219% | 0.247 | 0.762 |
| 950,000.00 | Chevron Corporation | 16677JR32 CP | 0.00 | 04/03/2017 | 944,467.04 | 947,887.83 | 99.7777 | 947,887.83 | 0.00 | 947,887.83 | 1.781% | 0.255 | 0.874 |
| 820,000.00 | Microsoft Corporation | 59515MR49 CP | 0.00 | 04/04/2017 | 817,134.56 | 818,199.42 | 99.7904 | 818,199.42 | 0.00 | 818,199.42 | 1.537% | 0.258 | 0.853 |
| 1,100,000.00 | WELLS FARGO & CO | 94974BFD7 CORP | 2.10 | 05/08/2017 | 1,109,922.00 | 1,103,853.50 | 100.2000 | 1,102,200.00 | -1,653.50 | 1,105,600.83 | 2.077% | 0.351 | 1.087 |
| 1,043,000.00 | BERKSHIRE HATHAWAY FINANCE CORP | 084664BS9 CORP | 1.60 | 05/15/2017 | 1,052,032.38 | 1,045,744.53 | 100.1600 | 1,044,668.80 | -1,075.73 | 1,046,801.16 | 1.967% | 0.37 | 0.879 |
| 1,000,000.00 | U.S. BANCORP | 91159HHD5 CORP | 1.85 | 04/15/2017 | 1,007,040.00 | 1,002,172.58 | 100.0010 | 1,000,010.00 | -2,162.58 | 1,002,118.33 | 1.883% | 0.288 | 0.882 |
| 1,000,000.00 | ROYAL BANK OF CANADA | 78010UD20 CORP | 1.25 | 06/16/2017 | 1,001,630.00 | 1,000,858.98 | 99.8710 | 998,710.00 | -2,148.98 | 999,230.83 | 1.877% | 0.458 | 1.06 |
| 1,000,000.00 | ROYAL BANK OF CANADA | 78010UD20 CORP | 1.25 | 06/16/2017 | 999,910.00 | 999,970.42 | 99.8710 | 998,710.00 | -1,260.42 | 999,230.83 | 1.877% | 0.458 | 1.256 |
| 500,000.00 | BANK OF NEW YORK MELLON CORP | 06405AA8 CORP | 1.989 | 06/20/2017 | 505,160.00 | 501,737.03 | 100.1910 | 500,955.00 | -782.03 | 501,255.82 | 0.942% | 0.468 | 1.224 |
| 1,350,000.00 | The Coca-Cola Company | 19121AU7 CP | 0.00 | 07/10/2017 | 1,341,616.50 | 1,343,445.00 | 99.5144 | 1,343,445.00 | 0.00 | 1,343,445.00 | 2.524% | 0.523 | 0.925 |
| 654,000.00 | AMERICAN HONDA FINANCE CORP | 02665WAF8 CORP | 1.20 | 07/14/2017 | 655,602.30 | 654,925.14 | 100.0750 | 654,490.50 | -434.64 | 658,131.10 | 1.237% | 0.534 | 0.932 |
| 1,066,000.00 | JOHN DEERE CAPITAL CORP | 24422ERW1 CORP | 1.20 | 10/10/2017 | 1,064,923.34 | 1,065,457.13 | 99.9460 | 1,065,424.36 | -62.77 | 1,068,302.56 | 2.007% | 0.775 | 1.263 |
| 485,000.00 | JOHN DEERE CAPITAL CORP | 24422ERW1 CORP | 1.20 | 10/10/2017 | 486,498.65 | 485,987.43 | 99.9460 | 484,738.10 | -1,249.33 | 486,047.60 | 0.913% | 0.775 | 0.934 |
| 1,055,000.00 | CHEVRON CORP | 16676AAK6 CORP | 1.076 | 11/15/2017 | 1,045,568.30 | 1,050,246.78 | 99.8020 | 1,052,911.10 | 2,664.32 | 1,054,392.69 | 1.981% | 0.874 | 1.61 |
| 26,420,000.00 | -- | -- | 0.489 | 04/17/2017 | 26,385,124.19 | 26,410,018.04 | 99.9019 | 26,402,000.77 | -8,017.27 | 26,420,294.66 | 49.642% | 0.292 | 0.884 |
| | | | | 04/18/2017 | | | | | | 16,293.89 | | | |

L T

| Base Current Face Value | Description | Identifier, Security Type | Coupon Rate | Effective Maturity, Final Maturity | Original Cost | Book Value | Market Price | Base Market Value | Net Unrealized Gain/Loss | Base Market Value + Accrued Balance | % of Market Value + Accrued | WAL | Book Yield |
|-------------------------|--------------------------------------|---------------------------|-------------|------------------------------------|---------------|--------------|--------------|-------------------|--------------------------|-------------------------------------|-----------------------------|-------|------------|
| 1,500,000.00 | INTERNATIONAL BUSINESS MACHINES CORP | 459200HZ7 CORP | 1.125 | 02/06/2018 | 1,505,070.00 | 1,503,764.94 | 99.7660 | 1,496,490.00 | -7,274.94 | 1,503,286.88 | 2.825% | 1.101 | 0.894 |
| 1,500,000.00 | INTERNATIONAL BUSINESS MACHINES CORP | 459200HZ7 CORP | 1.125 | 02/06/2018 | 1,505,070.00 | 1,503,764.94 | 99.7660 | 1,496,490.00 | -7,274.94 | 1,503,286.88 | 2.825% | 1.101 | 0.894 |

Summary

| Base Current Face Value | Description | Identifier, Security Type | Coupon Rate | Effective Maturity, Final Maturity | Original Cost | Book Value | Market Price | Base Market Value | Net Unrealized Gain/Loss | Base Market Value + Accrued Balance | % of Market Value + Accrued | WAL | Book Yield |
|-------------------------|-------------|---------------------------|-------------|------------------------------------|---------------|---------------|--------------|-------------------|--------------------------|-------------------------------------|-----------------------------|-------|------------|
| 53,178,000.00 | -- | -- | 0.275 | 03/18/2017 | 53,177,445.55 | 53,210,436.74 | 99.8313 | 53,196,880.21 | -13,556.53 | 53,221,970.98 | 100.000% | 0.211 | 0.867 |
| | | | | 03/19/2017 | | | | | | 25,090.77 | | | |

* Grouped by: BS Class 2. * Groups Sorted by: BS Class 2. * Weighted by: Base Market Value + Accrued, except Book Yield by Base Book Value + Accrued.

HMCM-Cash Equivalent Holdings - 90 Days or Less

Base Currency: USD As of 12/31/2016

[Return to Table of Contents](#)

HMCM-Oakdale Irrigation Distri

Dated: 01/03/2017

AGCY DISC

| Description | Identifier | Settle Date | Final Maturity | Base Current Units | Original Cost | Net Amortization/ Accretion Income | Base Market Value | Days from Settle to Effective Maturity | Accrued Balance | BS Class | Security Type | Base Market Value + Accrued |
|--------------------------------|------------|-------------|-------------------|----------------------|----------------------|---------------------------------------|----------------------|--|-----------------|-------------|------------------|--------------------------------|
| FEDERAL HOME LOAN BANKS | 313385AL0 | 11/18/2016 | 01/11/2017 | 550,000.00 | 549,661.75 | 275.61 | 549,956.00 | 54 | 0.00 | CE | AGCY DISC | 549,956.00 |
| FEDERAL HOME LOAN BANKS | 313385AL0 | 11/18/2016 | 01/11/2017 | 2,575,000.00 | 2,573,416.38 | 1,290.36 | 2,574,794.00 | 54 | 0.00 | CE | AGCY DISC | 2,574,794.00 |
| FEDERAL HOME LOAN BANKS | 313385AE6 | 10/12/2016 | 01/05/2017 | 600,000.00 | 599,490.00 | 486.00 | 599,988.00 | 85 | 0.00 | CE | AGCY DISC | 599,988.00 |
| FEDERAL HOME LOAN BANKS | 313385BX3 | 12/21/2016 | 02/15/2017 | 4,250,000.00 | 4,246,562.22 | 675.28 | 4,248,087.50 | 56 | 0.00 | CE | AGCY DISC | 4,248,087.50 |
| FEDERAL HOME LOAN BANKS | 313385BS4 | 12/21/2016 | 02/10/2017 | 500,000.00 | 499,624.58 | 80.97 | 499,800.00 | 51 | 0.00 | CE | AGCY DISC | 499,800.00 |
| FEDERAL HOME LOAN BANKS | 313385BC9 | 11/04/2016 | 01/27/2017 | 4,700,000.00 | 4,695,942.33 | 2,801.72 | 4,698,825.00 | 84 | 0.00 | CE | AGCY DISC | 4,698,825.00 |
| FEDERAL HOME LOAN BANKS | 313385BC9 | 12/08/2016 | 01/27/2017 | 1,225,000.00 | 1,224,217.36 | 375.67 | 1,224,693.75 | 50 | 0.00 | CE | AGCY DISC | 1,224,693.75 |
| FEDERAL HOME LOAN BANKS | 313385AY2 | 12/07/2016 | 01/23/2017 | 4,000,000.00 | 3,997,911.11 | 1,111.11 | 3,999,160.00 | 47 | 0.00 | CE | AGCY DISC | 3,999,160.00 |
| FEDERAL HOME LOAN BANKS | 313385BA3 | 11/21/2016 | 01/25/2017 | 425,000.00 | 424,666.20 | 210.55 | 424,902.25 | 65 | 0.00 | CE | AGCY DISC | 424,902.25 |
| FEDERAL HOME LOAN BANKS | 313385BA3 | 11/30/2016 | 01/25/2017 | 2,400,000.00 | 2,398,290.13 | 977.07 | 2,399,448.00 | 56 | 0.00 | CE | AGCY DISC | 2,399,448.00 |
| FEDERAL HOME LOAN BANKS | 313385BA3 | 12/07/2016 | 01/25/2017 | 4,025,000.00 | 4,022,808.61 | 1,118.06 | 4,024,074.25 | 49 | 0.00 | CE | AGCY DISC | 4,024,074.25 |
| FEDERAL HOME LOAN BANKS | -- | -- | 01/27/2017 | 25,250,000.00 | 25,232,590.67 | 9,402.40 | 25,243,728.75 | 59 | 0.00 | CE | AGCY DISC | 25,243,728.75 |

MMFUND

| Description | Identifier | Settle Date | Final Maturity | Base Current Units | Original Cost | Net Amortization/ Accretion Income | Base Market Value | Days from Settle to Effective Maturity | Accrued Balance | BS Class | Security Type | Base Market Value + Accrued |
|--|------------------|-------------------|-------------------|--------------------|------------------|---------------------------------------|-------------------|--|-----------------|-------------|---------------|--------------------------------|
| FIDELITY INST : GOV PT CL I MMF | 316175108 | 12/21/2016 | 12/31/2016 | 54,648.35 | 54,648.35 | 0.00 | 54,648.35 | 10 | 0.00 | CE | MMFUND | 54,648.35 |
| FIDELITY INST : GOV PT CL I MMF | 316175108 | 12/21/2016 | 12/31/2016 | 54,648.35 | 54,648.35 | 0.00 | 54,648.35 | 10 | 0.00 | CE | MMFUND | 54,648.35 |

Summary

| Description | Identifier | Settle Date | Final Maturity | Base Current Units | Original Cost | Net Amortization/ Accretion Income | Base Market Value | Days from Settle to Effective Maturity | Accrued Balance | BS Class | Security Type | Base Market Value + Accrued |
|-------------|------------|-------------|-------------------|----------------------|----------------------|---------------------------------------|----------------------|--|-----------------|-------------|---------------|--------------------------------|
| -- | -- | -- | 01/27/2017 | 25,304,648.35 | 25,287,239.02 | 9,402.40 | 25,298,377.10 | 59 | 0.00 | CE | -- | 25,298,377.10 |

* Grouped by: Security Type, * Groups Sorted by: Security Type, * Filtered By: BS Class = Cash Equivalent and Base Market Value + Accrued ≠ 0.00, * Weighted by: Base Market Value + Accrued.

* Days from Settle to Effective Maturity = [Effective Maturity] - [Settle Date], Summary Calculation: Weighted Average.



HCMCM-Maturity Report - 91 Days or Over

Base Currency: USD 12/01/2016 - 12/31/2016

[Return to Table of Contents](#)

HCMCM-Oakdale Irrigation Distri

Dated: 01/03/2017

| Description | Identifier | BS Class 2 | Security Type | Settle Date | Effective Maturity | Trade Date | Base Maturities and Redemptions | Net Realized Gain/Loss | Total Days to Maturity from Settle Date | Ending Base Market Value + Accrued |
|-----------------------------------|------------|------------|---------------|-------------|--------------------|------------|---------------------------------|------------------------|---|------------------------------------|
| Prudential Public Limited Company | 7443M2MC7 | ST | CP | 08/05/2016 | 12/12/2016 | 08/05/2016 | -1,500,000.00 | 0.00 | 129 | 0.00 |
| FEDERAL HOME LOAN BANKS | 313384S59 | ST | AGCY DISC | 08/11/2016 | 12/08/2016 | 08/11/2016 | -1,200,000.00 | 0.00 | 119 | 0.00 |
| FEDERAL HOME LOAN BANKS | 313384U23 | ST | AGCY DISC | 09/02/2016 | 12/21/2016 | 09/02/2016 | -4,755,000.00 | 0.00 | 110 | 0.00 |
| -- | -- | ST | -- | -- | -- | -- | -7,455,000.00 | 0.00 | -- | 0.00 |

* Filtered By: Base Maturities and Redemptions ≠ 0.00 and Total Days to Maturity from Settle Date ≥ 91.

* Weighted by: Ending Base Market Value + Accrued.

* Total Days to Maturity from Settle Date = [Effective Maturity] - [Settle Date], Summary Calculation: Weighted Average.

HMCM-Purchases Report- 91 Days or Over

Base Currency: USD 12/01/2016 - 12/31/2016

HMCM-Oakdale Irrigation Distri

[Return to Table of Contents](#)

Dated: 01/03/2017

* Does not Lock Down.

Buy

| Transaction Type | Description | Identifier | Settle Date | Final Maturity | Total Days to Maturity from S/D | Principal | Market Value | Original Cost (Excl. Accrued Interest) | Accrued Balance |
|------------------|---|------------|-------------|----------------|---------------------------------|--------------|--------------|--|-----------------|
| Buy | The Province of British Columbia, Government of | 11070JQQ6 | 12/12/2016 | 03/24/2017 | 102 | 1,496,472.50 | 1,496,472.50 | 1,496,472.50 | 0.00 |
| Buy | The Province of British Columbia, Government of | 11070JQQ6 | 12/12/2016 | 03/24/2017 | 102 | 1,496,472.50 | 1,496,472.50 | 1,496,472.50 | 0.00 |

* Grouped by: Transaction Type. * Filled By: Transaction Type. * Filtered By: Transaction Type = Buy and Total Days to Maturity from S/D > 91. * MMF transactions are expanded.
 * Total Days to Maturity from S/D = [Final Maturity] - [Settle Date]. Summary Calculation: Weighted Average. * Original Cost (Excl. Accrued Interest) = ([Current Units] * [Price] * [Factor]) * [Price Scalar]. Summary Calculation: Sum.
 * The Transaction Detail/Trading Activity reports provide our most up-to-date transactional details. As such, these reports are subject to change even after the other reports on the website have been locked down. While these reports can be useful tools in understanding recent activity, due to their dynamic nature we do not recommend using them for booking journal entries or reconciliation.



HMCM-Sales Report - 91 Days or Over

Base Currency: USD 12/01/2016 - 12/31/2016

[Return to Table of Contents](#)

HMCM-Oakdale Irrigation Distri

Dated: 01/03/2017

| Description | Identifier | Settle Date | Effective Maturity | Final Maturity | Trade Date | Total Amount | Beginning Original Cost | Net Realized Gain/Loss |
|-------------|------------|-------------|--------------------|----------------|------------|--------------|-------------------------|------------------------|
| -- | -- | -- | -- | -- | -- | 0.00 | 0.00 | 0.00 |

* Filtered By: BS Class 2 ≠ Cash Equivalent and Base Sales ≠ 0.00. * Weighted by: Ending Base Market Value + Accrued.

* Total Amount = [Sales]+[Disposed Accrued], Summary Calculation: Sum.

HCMC-Calls Report

Base Currency: USD 12/01/2016 - 12/31/2016

HCMC-Oakdale Irrigation Distri

Dated: 01/03/2017

[Return to Table of Contents](#)

* Does not Lock Down.

| Description | Identifier | Trade Date | Settle Date | Final Maturity | Days to Maturity from Settle Date | Net Realized Gain/Loss | Base Amount | Transaction Type |
|-------------|------------|------------|-------------|----------------|-----------------------------------|------------------------|-------------|------------------|
| — | — | — | — | — | — | 0.00 | 0.00 | — |

* Grouped by: Transaction Type. * Groups Sorted by: Transaction Type. * Filtered By: Transaction Type = Redemption. * MMF transactions are expanded.

* Days to Maturity from Settle Date = [Final Maturity]-[Settle Date]. Summary Calculation: Weighted Average.

* The Transaction Detail/Trading Activity reports provide our most up-to-date transactional details. As such, these reports are subject to change even after the other reports on the website have been locked down. While these reports can be useful tools in understanding recent activity, due to their dynamic nature we do not recommend using them for booking journal entries or reconciliation.

HMCM-Roll-Forward

Base Currency: USD 12/01/2016 - 12/31/2016

HMCM-Oakdale Irrigation Distri

Dated: 01/03/2017

[Return to Table of Contents](#)

| Identifier/ Description | Beginning Market Value + Base Purchases | Base Sales, Base Maturities and Redemptions | Disposed Book Value, Base Payouts | Base Net Transferred Value | Base Amortization/ Accretion | Change in Accrued Balance | Net Realized Gain/Loss | Base Change in Net Unsettled Gain/Loss | Base Change in Cash, Payables/Receivables | Ending Market Value + Accrued |
|---|---|---|--------------------------------------|-------------------------------|---------------------------------|------------------------------|---------------------------|--|--|----------------------------------|
| 316175108 FIDELITY INST : GOV PT CL I MMF | 44,764.23 15,497,480.50 | -15,487,596.38 0.00 | -15,487,596.38 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 54,648.35 |
| 313385A0 FEDERAL HOME LOAN BANKS | 549,763.50 0.00 | 0.00 0.00 | 0.00 0.00 | 0.00 | 194.18 | 0.00 | 0.00 | -1.68 | 0.00 | 549,956.00 |
| 313385A0 FEDERAL HOME LOAN BANKS | 2,573,892.75 0.00 | 0.00 0.00 | 0.00 0.00 | 0.00 | 909.12 | 0.00 | 0.00 | -7.87 | 0.00 | 2,574,794.00 |
| 03785DQT6 Apple Inc. | 1,670,952.09 0.00 | 0.00 0.00 | 0.00 0.00 | 0.00 | 1,081.77 | 0.00 | 0.00 | 0.00 | 0.00 | 1,672,033.86 |
| 59515WQU2 Microsoft Corporation | 1,246,506.25 0.00 | 0.00 0.00 | 0.00 0.00 | 0.00 | 925.69 | 0.00 | 0.00 | 0.00 | 0.00 | 1,247,431.95 |
| 24422ERW1 JOHN DEERE CAPITAL CORP | 1,069,539.12 0.00 | 0.00 0.00 | 0.00 0.00 | 0.00 | 56.38 | 1,066.00 | 0.00 | -2,358.94 | 0.00 | 1,068,302.56 |
| 24422ERW1 JOHN DEERE CAPITAL CORP | 486,610.20 0.00 | 0.00 0.00 | 0.00 0.00 | 0.00 | -108.55 | 485.00 | 0.00 | -939.05 | 0.00 | 486,047.60 |
| 11070UQC6 The Province of British Columbia, Government of | 1,496,472.50 0.00 | 0.00 0.00 | 0.00 0.00 | 0.00 | 691.67 | 0.00 | 0.00 | 0.00 | 0.00 | 1,497,164.17 |
| 313385AY2 FEDERAL HOME LOAN BANKS | 3,997,911.11 0.00 | 0.00 0.00 | 0.00 0.00 | 0.00 | 1,111.11 | 0.00 | 0.00 | 137.78 | 0.00 | 3,999,160.00 |
| 064058A8 BANK OF NEW YORK MELLON CORP | 505,802.90 0.00 | 0.00 0.00 | 0.00 0.00 | 0.00 | -316.75 | -4,102.08 | 0.00 | -128.25 | 0.00 | 501,255.82 |
| 084664BS9 BERKSHIRE HATHAWAY FINANCE CORP | 1,046,359.62 0.00 | 0.00 0.00 | 0.00 0.00 | 0.00 | -634.93 | 1,390.67 | 0.00 | -314.20 | 0.00 | 1,046,801.16 |
| 313384U23 FEDERAL HOME LOAN BANKS | 4,754,049.00 0.00 | -4,755,000.00 0.00 | -4,755,000.00 0.00 | 0.00 | 937.79 | 0.00 | 0.00 | 13.21 | 0.00 | 0.00 |
| 313385AS5 FEDERAL HOME LOAN BANKS | 799,608.00 0.00 | 0.00 0.00 | 0.00 0.00 | 0.00 | 203.22 | 0.00 | 0.00 | 68.78 | 0.00 | 799,880.00 |
| 313385BA3 FEDERAL HOME LOAN BANKS | 424,753.50 0.00 | 0.00 0.00 | 0.00 0.00 | 0.00 | 159.20 | 0.00 | 0.00 | -10.45 | 0.00 | 424,902.25 |
| 313385BA3 FEDERAL HOME LOAN BANKS | 2,398,608.00 0.00 | 0.00 0.00 | 0.00 0.00 | 0.00 | 946.54 | 0.00 | 0.00 | -106.54 | 0.00 | 2,399,448.00 |
| 313385BA3 FEDERAL HOME LOAN BANKS | 629,634.60 0.00 | 0.00 0.00 | 0.00 0.00 | 0.00 | 173.60 | 0.00 | 0.00 | 46.90 | 0.00 | 629,855.10 |
| 313385BA3 FEDERAL HOME LOAN BANKS | 4,022,808.61 0.00 | 0.00 0.00 | 0.00 0.00 | 0.00 | 1,118.06 | 0.00 | 0.00 | 147.58 | 0.00 | 4,024,074.25 |
| 313385AM8 FEDERAL HOME LOAN BANKS | 299,868.00 0.00 | 0.00 0.00 | 0.00 0.00 | 0.00 | 98.17 | 0.00 | 0.00 | 6.83 | 0.00 | 299,973.00 |
| 16677JR32 Chevron Corporation | 947,176.12 0.00 | 0.00 0.00 | 0.00 0.00 | 0.00 | 711.71 | 0.00 | 0.00 | 0.00 | 0.00 | 947,887.83 |
| 89233GP75 Toyota Motor Credit Corporation | 698,743.89 0.00 | 0.00 0.00 | 0.00 0.00 | 0.00 | 572.64 | 0.00 | 0.00 | 0.00 | 0.00 | 699,316.53 |
| 89233GP75 Toyota Motor Credit Corporation | 1,796,770.00 0.00 | 0.00 0.00 | 0.00 0.00 | 0.00 | 1,550.00 | 0.00 | 0.00 | -77.50 | 0.00 | 1,798,242.50 |
| 78010UD20 ROYAL BANK OF CANADA | 1,004,489.17 0.00 | 0.00 0.00 | 0.00 0.00 | 0.00 | 5.52 | -5,208.33 | 0.00 | -55.52 | 0.00 | 999,230.83 |
| 78010UD20 ROYAL BANK OF CANADA | 1,004,489.17 0.00 | 0.00 0.00 | 0.00 0.00 | 0.00 | -160.41 | -5,208.33 | 0.00 | 110.41 | 0.00 | 999,230.83 |
| 16676A4K6 CHEVRON CORP | 1,052,887.97 0.00 | 0.00 0.00 | 0.00 0.00 | 0.00 | 463.36 | 977.22 | 0.00 | 64.14 | 0.00 | 1,054,392.69 |
| 313384S42 FEDERAL HOME LOAN BANKS | 4,499,820.00 0.00 | -4,500,000.00 0.00 | -4,500,000.00 0.00 | 0.00 | 262.50 | 0.00 | 0.00 | -82.50 | 0.00 | 0.00 |
| 313384S42 FEDERAL HOME LOAN BANKS | 3,524,859.00 0.00 | 0.00 0.00 | -3,525,000.00 0.00 | 0.00 | 158.62 | 0.00 | 0.00 | -17.62 | 0.00 | 0.00 |
| 02665WAF8 AMERICAN HONDA FINANCE CORP | 657,392.08 0.00 | 0.00 0.00 | 0.00 0.00 | 0.00 | -147.83 | 654.00 | 0.00 | 232.85 | 0.00 | 658,131.10 |
| 313385AF6 FEDERAL HOME LOAN BANKS | 599,784.00 0.00 | 0.00 0.00 | 0.00 0.00 | 0.00 | 186.00 | 0.00 | 0.00 | 18.00 | 0.00 | 599,988.00 |
| 59515MR49 Microsoft Corporation | 817,599.23 0.00 | 0.00 0.00 | 0.00 0.00 | 0.00 | 600.19 | 0.00 | 0.00 | 0.00 | 0.00 | 818,199.42 |

HMCM-Roll-Forward

Base Currency: USD 12/01/2016 - 12/31/2016

HMCM-Oakdale Irrigation Distri

Dated: 01/03/2017

Return to Table of Contents

| Identifier/ Description | Beginning Market Value + Accrued, Base Purchases | Base Sales, Base Maturities and Redemptions | Disposed Book Value, Base Payouts | Base Net Transferred Value | Base Amortization/ Accretion | Change in Accrued Balance | Net Realized Gain/Loss | Base Change in Net Unrealized Gain/Loss | Base Change in Cash, Payables/Receivables | Ending Market Value + Accrued |
|--|--|---|--------------------------------------|-------------------------------|---------------------------------|------------------------------|---------------------------|---|--|----------------------------------|
| 06417JNW8 The Bank of Nova Scotia | 1,797,060.00 | 0.00 | 0.00 | 0.00 | 1,519.00 | 0.00 | 0.00 | 0.00 | 0.00 | 1,798,579.00 |
| 313385BX3 FEDERAL HOME LOAN BANKS | 0.00 | 0.00 | 0.00 | 0.00 | 675.28 | 0.00 | 0.00 | 850.00 | 0.00 | 4,248,087.50 |
| 313384SS9 FEDERAL HOME LOAN BANKS | 1,199,928.00 | -1,200,000.00 | -1,200,000.00 | 0.00 | 84.00 | 0.00 | 0.00 | -12.00 | 0.00 | 0.00 |
| 19121AUJ7 The Coca-Cola Company | 1,342,375.50 | 0.00 | 0.00 | 0.00 | 1,069.50 | 0.00 | 0.00 | 0.00 | 0.00 | 1,343,445.00 |
| 7443M2MC7 Prudential Public Limited Company | 1,499,628.75 | -1,500,000.00 | -1,500,000.00 | 0.00 | 371.25 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 313385AD8 FEDERAL HOME LOAN BANKS | 2,599,090.00 | 0.00 | 0.00 | 0.00 | 761.22 | 0.00 | 0.00 | 148.78 | 0.00 | 2,600,000.00 |
| 949748FD7 WELLS FARGO & CO | 1,104,676.83 | 0.00 | 0.00 | 0.00 | -940.62 | 1,925.00 | 0.00 | -60.38 | 0.00 | 1,105,600.83 |
| 91159HHD5 U.S. BANCORP | 1,001,133.33 | 0.00 | 0.00 | 0.00 | -647.60 | 1,375.00 | 0.00 | 257.60 | 0.00 | 1,002,118.33 |
| 459200HZ7 INTERNATIONAL BUSINESS MACHINES CORP | 1,502,315.63 | 0.00 | 0.00 | 0.00 | -291.06 | 1,406.25 | 0.00 | -143.94 | 0.00 | 1,503,286.88 |
| 03785DQX7 Apple Inc. | 648,353.33 | 0.00 | 0.00 | 0.00 | 425.39 | 0.00 | 0.00 | 0.00 | 0.00 | 648,778.72 |
| CCYUSD Receivable | 58.02 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | -45.68 | 12.34 |
| 06417JQH8 The Bank of Nova Scotia | 697,732.78 | 0.00 | 0.00 | 0.00 | 663.06 | 0.00 | 0.00 | 0.00 | 0.00 | 698,395.83 |
| 313385BS4 FEDERAL HOME LOAN BANKS | 499,624.58 | 0.00 | 0.00 | 0.00 | 80.97 | 0.00 | 0.00 | 94.45 | 0.00 | 499,800.00 |
| 313385BC9 FEDERAL HOME LOAN BANKS | 4,697,180.00 | 0.00 | 0.00 | 0.00 | 1,497.47 | 0.00 | 0.00 | 147.53 | 0.00 | 4,698,825.00 |
| 313385BC9 FEDERAL HOME LOAN BANKS | 1,224,217.36 | 0.00 | 0.00 | 0.00 | 375.67 | 0.00 | 0.00 | 100.72 | 0.00 | 1,224,693.75 |
| -- | 53,184,254.56 | -15,487,596.38 | -30,967,596.38 | 0.00 | 17,392.11 | -5,239.62 | 0.00 | -1,870.89 | -45.68 | 53,221,970.98 |
| -- | 30,985,076.88 | -15,480,000.00 | 0.00 | | | | | | | |

* Weighted by: Ending Base Market Value + Accrued

HMCM-Exposure - Duration

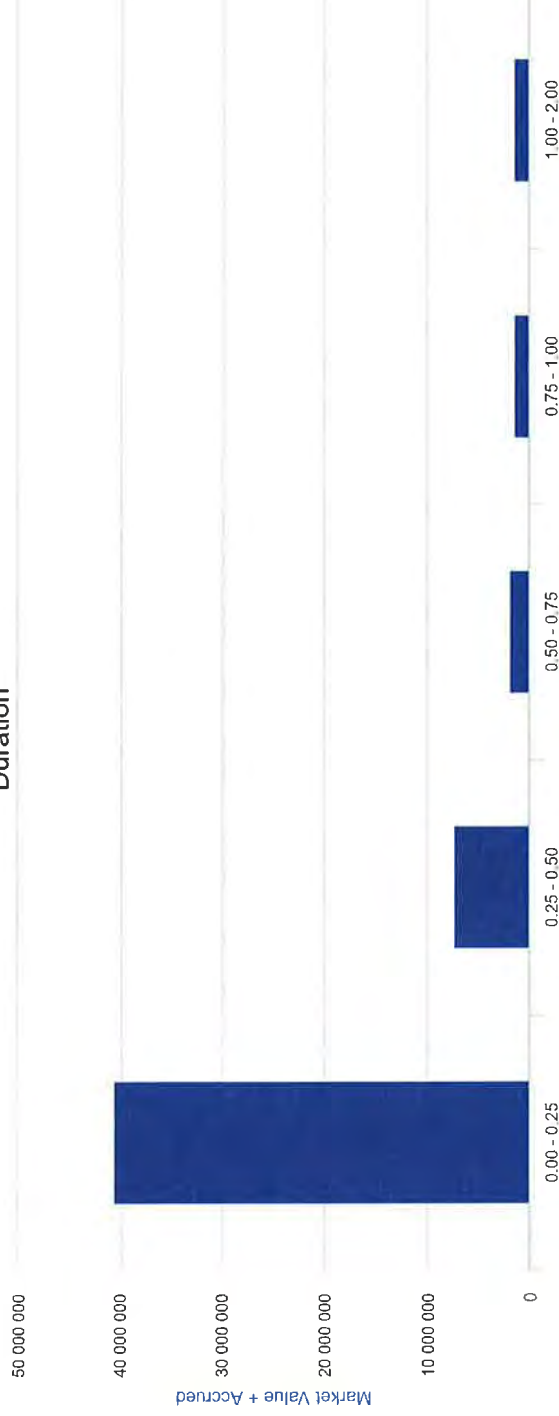
As of 12/31/2016

HMCM-Oakdale Irrigation Distri

Dated: 01/03/2017

[Return to Table of Contents](#)

Duration



0.00 - 0.25

| Description, Identifier | Security Type | Current Units | Currency | Effective Maturity | Final Maturity | Market Price | Yield | Duration | Convexity | Book Value | Unrealized Gain | Unrealized Loss | Accrued Balance | Market Value + Accrued |
|---|---------------|---------------|----------|--------------------|----------------|--------------|-------|----------|-----------|--------------|-----------------|-----------------|-----------------|------------------------|
| FIDELITY INST : GOV PT CL I MMF 316175108 | MMFUND | 54,648.35 | USD | 12/31/2016 | 12/31/2016 | 1.0000 | 0.40 | 0.00 | 0.00 | 54,648.35 | 0.00 | 0.00 | 0.00 | 54,648.35 |
| Receivable CCYUSD | CASH | 12.34 | USD | 12/31/2016 | 12/31/2016 | 1.0000 | 0.00 | 0.00 | 0.00 | 12.34 | 0.00 | 0.00 | 0.00 | 12.34 |
| FEDERAL HOME LOAN BANKS 313385AD8 | AGCY DISC | 2,600,000.00 | USD | 01/04/2017 | 01/04/2017 | 100.0000 | 0.00 | 0.014 | 0.00 | 2,599,926.33 | 73.67 | 0.00 | 0.00 | 2,600,000.00 |
| FEDERAL HOME LOAN BANKS 313385AE6 | AGCY DISC | 600,000.00 | USD | 01/05/2017 | 01/05/2017 | 99.9980 | 0.122 | 0.016 | 0.00 | 599,976.00 | 12.00 | 0.00 | 0.00 | 599,988.00 |
| FEDERAL HOME LOAN BANKS 313385AL0 | AGCY DISC | 550,000.00 | USD | 01/11/2017 | 01/11/2017 | 99.9920 | 0.244 | 0.033 | 0.00 | 549,937.36 | 18.64 | 0.00 | 0.00 | 549,956.00 |
| FEDERAL HOME LOAN BANKS 313385AL0 | AGCY DISC | 2,575,000.00 | USD | 01/11/2017 | 01/11/2017 | 99.9920 | 0.244 | 0.033 | 0.00 | 2,574,706.74 | 87.26 | 0.00 | 0.00 | 2,574,794.00 |
| FEDERAL HOME LOAN BANKS 313385AN8 | AGCY DISC | 300,000.00 | USD | 01/12/2017 | 01/12/2017 | 99.9910 | 0.253 | 0.036 | 0.00 | 299,965.17 | 7.83 | 0.00 | 0.00 | 299,973.00 |
| FEDERAL HOME LOAN BANKS 313385AS5 | AGCY DISC | 800,000.00 | USD | 01/17/2017 | 01/17/2017 | 99.9850 | 0.305 | 0.049 | 0.00 | 799,895.11 | 0.00 | -15.11 | 0.00 | 799,880.00 |
| FEDERAL HOME LOAN BANKS 313385AY2 | AGCY DISC | 4,000,000.00 | USD | 01/23/2017 | 01/23/2017 | 99.9790 | 0.32 | 0.066 | 0.00 | 3,999,022.22 | 137.78 | 0.00 | 0.00 | 3,999,160.00 |
| FEDERAL HOME LOAN BANKS 313385BA3 | AGCY DISC | 425,000.00 | USD | 01/25/2017 | 01/25/2017 | 99.9770 | 0.324 | 0.071 | 0.00 | 424,876.75 | 25.50 | 0.00 | 0.00 | 424,902.25 |
| FEDERAL HOME LOAN BANKS 313385BA3 | AGCY DISC | 2,400,000.00 | USD | 01/25/2017 | 01/25/2017 | 99.9770 | 0.324 | 0.071 | 0.00 | 2,399,267.20 | 180.80 | 0.00 | 0.00 | 2,399,448.00 |
| FEDERAL HOME LOAN BANKS 313385BA3 | AGCY DISC | 4,025,000.00 | USD | 01/25/2017 | 01/25/2017 | 99.9770 | 0.324 | 0.071 | 0.00 | 4,023,926.67 | 147.58 | 0.00 | 0.00 | 4,024,074.25 |
| FEDERAL HOME LOAN BANKS 313385BA3 | AGCY DISC | 630,000.00 | USD | 01/25/2017 | 01/25/2017 | 99.9770 | 0.324 | 0.071 | 0.00 | 629,865.60 | 0.00 | -10.50 | 0.00 | 629,855.10 |

HMCM-Exposure - Duration

As of 12/31/2016

HMCM-Oakdale Irrigation Distri

Dated: 01/03/2017

[Return to Table of Contents](#)

| Description, Identifier | Security Type | Current Units | Currency | Effective Maturity | Final Maturity | Market Price | Yield | Duration | Convexity | Book Value | Unrealized Gain | Unrealized Loss | Accrued Balance | Market Value + Accrued |
|---|---------------|---------------|----------|--------------------|----------------|--------------|-------|----------|-----------|---------------|-----------------|-----------------|-----------------|------------------------|
| FEDERAL HOME LOAN BANKS 31335BC9 | AGCY DISC | 4,700,000.00 | USD | 01/27/2017 | 01/27/2017 | 99.9750 | 0.327 | 0.076 | 0.00 | 4,698,744.05 | 80.95 | 0.00 | 0.00 | 4,698,825.00 |
| FEDERAL HOME LOAN BANKS 31335BC9 | AGCY DISC | 1,225,000.00 | USD | 01/27/2017 | 01/27/2017 | 99.9750 | 0.327 | 0.076 | 0.00 | 1,224,593.03 | 100.72 | 0.00 | 0.00 | 1,224,693.75 |
| The Bank of Nova Scotia 06417JINW8 | CP | 1,800,000.00 | USD | 01/30/2017 | 01/30/2017 | 99.9211 | 0.983 | 0.079 | 0.001 | 1,798,579.00 | 0.00 | 0.00 | 0.00 | 1,798,579.00 |
| Toyota Motor Credit Corporation 89233GP75 | CP | 700,000.00 | USD | 02/07/2017 | 02/07/2017 | 99.9024 | 0.953 | 0.101 | 0.001 | 699,316.53 | 0.00 | 0.00 | 0.00 | 699,316.53 |
| Toyota Motor Credit Corporation 89233GP75 | CP | 1,800,000.00 | USD | 02/07/2017 | 02/07/2017 | 99.9024 | 0.953 | 0.101 | 0.001 | 1,798,150.00 | 92.50 | 0.00 | 0.00 | 1,798,242.50 |
| FEDERAL HOME LOAN BANKS 31335BS4 | AGCY DISC | 500,000.00 | USD | 02/10/2017 | 02/10/2017 | 99.9600 | 0.349 | 0.115 | 0.00 | 499,705.55 | 94.45 | 0.00 | 0.00 | 499,800.00 |
| FEDERAL HOME LOAN BANKS 31335BX3 | AGCY DISC | 4,250,000.00 | USD | 02/15/2017 | 02/15/2017 | 99.9550 | 0.351 | 0.128 | 0.00 | 4,247,237.50 | 850.00 | 0.00 | 0.00 | 4,248,087.50 |
| CHEVRON CORP 16076AK6 | CORP | 1,055,000.00 | USD | 11/15/2017 | 11/15/2017 | 99.8020 | 1.407 | 0.13 | 0.00 | 1,050,246.78 | 2,664.32 | 0.00 | 1,481.59 | 1,054,392.69 |
| The Bank of Nova Scotia 06417JQH8 | CP | 700,000.00 | USD | 03/17/2017 | 03/17/2017 | 99.7708 | 1.104 | 0.205 | 0.002 | 698,395.83 | 0.00 | 0.00 | 0.00 | 698,395.83 |
| The Province of British Columbia, Government of 11070UQC6 | CP | 1,500,000.00 | USD | 03/24/2017 | 03/24/2017 | 99.8109 | 0.833 | 0.224 | 0.003 | 1,497,164.17 | 0.00 | 0.00 | 0.00 | 1,497,164.17 |
| Apple Inc. 03785DQ16 | CP | 1,675,000.00 | USD | 03/27/2017 | 03/27/2017 | 99.8229 | 0.752 | 0.232 | 0.003 | 1,672,033.86 | 0.00 | 0.00 | 0.00 | 1,672,033.86 |
| Microsoft Corporation 59515MUJ2 | CP | 1,250,000.00 | USD | 03/28/2017 | 03/28/2017 | 99.7946 | 0.863 | 0.235 | 0.003 | 1,247,431.95 | 0.00 | 0.00 | 0.00 | 1,247,431.95 |
| Apple Inc. 03785DQX7 | CP | 650,000.00 | USD | 03/31/2017 | 03/31/2017 | 99.8121 | 0.762 | 0.243 | 0.003 | 648,778.72 | 0.00 | 0.00 | 0.00 | 648,778.72 |
| -- | -- | 40,764,660.69 | USD | 02/11/2017 | 02/11/2017 | 99.8091 | 0.465 | 0.096 | 0.001 | 40,736,402.81 | 4,574.00 | -25.61 | 1,481.59 | 40,742,432.78 |

0.25 - 0.50

| Description, Identifier | Security Type | Current Units | Currency | Effective Maturity | Final Maturity | Market Price | Yield | Duration | Convexity | Book Value | Unrealized Gain | Unrealized Loss | Accrued Balance | Market Value + Accrued |
|---|---------------|---------------|----------|--------------------|----------------|--------------|-------|----------|-----------|--------------|-----------------|-----------------|-----------------|------------------------|
| Chevron Corporation 16677JR32 | CP | 950,000.00 | USD | 04/03/2017 | 04/03/2017 | 99.7777 | 0.873 | 0.252 | 0.003 | 947,887.83 | 0.00 | 0.00 | 0.00 | 947,887.83 |
| Microsoft Corporation 59515MR49 | CP | 820,000.00 | USD | 04/04/2017 | 04/04/2017 | 99.7804 | 0.853 | 0.254 | 0.003 | 818,199.42 | 0.00 | 0.00 | 0.00 | 818,199.42 |
| WELLS FARGO & CO 94974BFD7 | CORP | 1,100,000.00 | USD | 05/08/2017 | 05/08/2017 | 100.2000 | 1.53 | 0.354 | 0.003 | 1,103,853.50 | 0.00 | -1,653.50 | 3,400.83 | 1,105,600.83 |
| U.S. BANCORP 91159HH05 | CORP | 1,000,000.00 | USD | 04/15/2017 | 05/15/2017 | 100.0010 | 1.643 | 0.358 | -0.041 | 1,002,172.58 | 0.00 | -2,162.58 | 2,108.33 | 1,002,118.33 |
| BERKSHIRE HATHAWAY FINANCE CORP 084664BS9 | CORP | 1,043,000.00 | USD | 05/15/2017 | 05/15/2017 | 100.1600 | 1.189 | 0.373 | 0.003 | 1,045,744.53 | 0.00 | -1,075.73 | 2,132.36 | 1,046,801.16 |
| ROYAL BANK OF CANADA 78010UD20 | CORP | 1,000,000.00 | USD | 06/16/2017 | 06/16/2017 | 99.8710 | 1.531 | 0.458 | 0.004 | 1,000,858.98 | 0.00 | -2,148.98 | 520.83 | 999,230.83 |
| ROYAL BANK OF CANADA 78010UD20 | CORP | 1,000,000.00 | USD | 06/16/2017 | 06/16/2017 | 99.8710 | 1.531 | 0.458 | 0.004 | 999,970.42 | 0.00 | -1,260.42 | 520.83 | 999,230.83 |
| BANK OF NEW YORK MELLON CORP 064058AA8 | CORP | 500,000.00 | USD | 06/20/2017 | 06/20/2017 | 100.1910 | 1.561 | 0.469 | 0.004 | 501,737.03 | 0.00 | -782.03 | 300.82 | 501,255.82 |
| -- | -- | 7,413,000.00 | USD | 05/11/2017 | 05/15/2017 | 99.9781 | 1.338 | 0.369 | -0.003 | 7,420,424.29 | 0.00 | -9,083.24 | 8,984.01 | 7,420,325.06 |

0.50 - 0.75

| Description, Identifier | Security Type | Current Units | Currency | Effective Maturity | Final Maturity | Market Price | Yield | Duration | Convexity | Book Value | Unrealized Gain | Unrealized Loss | Accrued Balance | Market Value + Accrued |
|---------------------------------|---------------|---------------|----------|--------------------|----------------|--------------|-------|----------|-----------|--------------|-----------------|-----------------|-----------------|------------------------|
| The Coca-Cola Company 19121AUJ7 | CP | 1,350,000.00 | USD | 07/10/2017 | 07/10/2017 | 99.5144 | 0.924 | 0.516 | 0.008 | 1,343,445.00 | 0.00 | 0.00 | 0.00 | 1,343,445.00 |

HMCM-Exposure - Duration

As of 12/31/2016

HMCM-Oakdale Irrigation Distri

Dated: 01/03/2017

[Return to Table of Contents](#)

| Description, Identifier | Security Type | Current Units | Currency | Effective Maturity | Final Maturity | Market Price | Yield | Duration | Convexity | Book Value | Unrealized Gain | Unrealized Loss | Accrued Balance | Market Value + Accrued |
|---------------------------------------|---------------|---------------|----------|--------------------|----------------|--------------|-------|----------|-----------|--------------|-----------------|-----------------|-----------------|------------------------|
| AMERICAN HONDA FINANCE CORP 02665WAF8 | CORP | 654,000.00 | USD | 07/14/2017 | 07/14/2017 | 100.0750 | 1.06 | 0.533 | 0.006 | 654,925.14 | 0.00 | -434.64 | 3,640.60 | 658,131.10 |
| -- | -- | 2,004,000.00 | USD | 07/11/2017 | 07/11/2017 | 99.6988 | 0.969 | 0.521 | 0.007 | 1,998,370.14 | 0.00 | -434.64 | 3,640.60 | 2,001,576.10 |

0.75 - 1.00

| Description, Identifier | Security Type | Current Units | Currency | Effective Maturity | Final Maturity | Market Price | Yield | Duration | Convexity | Book Value | Unrealized Gain | Unrealized Loss | Accrued Balance | Market Value + Accrued |
|-----------------------------------|---------------|---------------|----------|--------------------|----------------|--------------|-------|----------|-----------|--------------|-----------------|-----------------|-----------------|------------------------|
| JOHN DEERE CAPITAL CORP 2442ZERW1 | CORP | 1,066,000.00 | USD | 10/10/2017 | 10/10/2017 | 99.9460 | 1.269 | 0.77 | 0.01 | 1,065,487.13 | 0.00 | -62.77 | 2,878.20 | 1,068,302.56 |
| JOHN DEERE CAPITAL CORP 2442ZERW1 | CORP | 485,000.00 | USD | 10/10/2017 | 10/10/2017 | 99.9460 | 1.269 | 0.77 | 0.01 | 485,987.43 | 0.00 | -1,249.33 | 1,309.50 | 486,047.60 |
| JOHN DEERE CAPITAL CORP 2442ZERW1 | CORP | 1,551,000.00 | USD | 10/10/2017 | 10/10/2017 | 99.9460 | 1.269 | 0.77 | 0.01 | 1,551,474.56 | 0.00 | -1,312.10 | 4,187.70 | 1,554,350.16 |

1.00 - 2.00

| Description, Identifier | Security Type | Current Units | Currency | Effective Maturity | Final Maturity | Market Price | Yield | Duration | Convexity | Book Value | Unrealized Gain | Unrealized Loss | Accrued Balance | Market Value + Accrued |
|--|---------------|---------------|----------|--------------------|----------------|--------------|-------|----------|-----------|--------------|-----------------|-----------------|-----------------|------------------------|
| INTERNATIONAL BUSINESS MACHINES CORP 459200HZ7 | CORP | 1,500,000.00 | USD | 02/06/2018 | 02/06/2018 | 99.7660 | 1.34 | 1.084 | 0.017 | 1,503,764.94 | 0.00 | -7,274.94 | 6,796.88 | 1,503,286.88 |
| INTERNATIONAL BUSINESS MACHINES CORP 459200HZ7 | CORP | 1,500,000.00 | USD | 02/06/2018 | 02/06/2018 | 99.7660 | 1.34 | 1.084 | 0.017 | 1,503,764.94 | 0.00 | -7,274.94 | 6,796.88 | 1,503,286.88 |

Summary

| Description, Identifier | Security Type | Current Units | Currency | Effective Maturity | Final Maturity | Market Price | Yield | Duration | Convexity | Book Value | Unrealized Gain | Unrealized Loss | Accrued Balance | Market Value + Accrued |
|-------------------------|---------------|---------------|----------|--------------------|----------------|--------------|-------|----------|-----------|---------------|-----------------|-----------------|-----------------|------------------------|
| -- | -- | 53,232,660.69 | USD | 03/18/2017 | 03/19/2017 | 99.8313 | 0.654 | 0.197 | 0.001 | 53,210,436.74 | 4,574.00 | -18,130.53 | 25,090.77 | 53,221,970.98 |

* Grouped by: Duration. * Groups Sorted by: Duration. * Weighted by: Market Value + Accrued.

Security Type Category

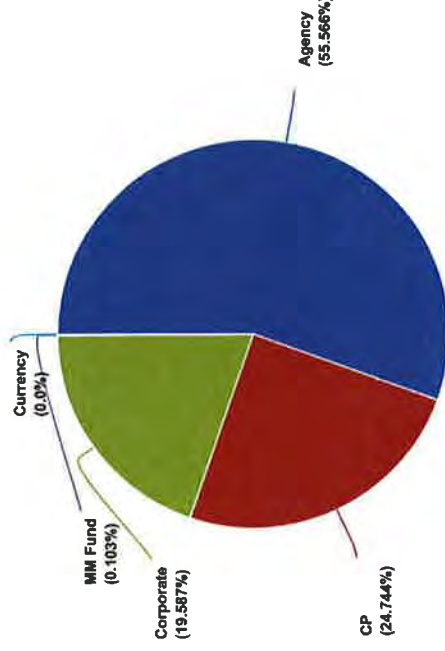


Chart calculated by: Market Value + Accrued

| Agency | Description, Identifier | Current Units | Currency | Effective Maturity | Final Maturity | Security Type Category | Book Value | Market Sector | Unrealized Gain | Unrealized Loss | Accrued Balance | Market Value + Accrued |
|--------|-----------------------------------|---------------|----------|--------------------|----------------|------------------------|--------------|---------------|-----------------|-----------------|-----------------|------------------------|
| | FEDERAL HOME LOAN BANKS 313385AD8 | 2,600,000.00 | USD | 01/04/2017 | 01/04/2017 | Agency | 2,599,926.33 | Agency | 73.67 | 0.00 | 0.00 | 2,600,000.00 |
| | FEDERAL HOME LOAN BANKS 313385AE6 | 600,000.00 | USD | 01/05/2017 | 01/05/2017 | Agency | 599,976.00 | Agency | 12.00 | 0.00 | 0.00 | 599,988.00 |
| | FEDERAL HOME LOAN BANKS 313385AL0 | 550,000.00 | USD | 01/11/2017 | 01/11/2017 | Agency | 549,937.36 | Agency | 18.64 | 0.00 | 0.00 | 549,956.00 |
| | FEDERAL HOME LOAN BANKS 313385AL0 | 2,575,000.00 | USD | 01/11/2017 | 01/11/2017 | Agency | 2,574,706.74 | Agency | 87.26 | 0.00 | 0.00 | 2,574,794.00 |
| | FEDERAL HOME LOAN BANKS 313385AM8 | 300,000.00 | USD | 01/12/2017 | 01/12/2017 | Agency | 299,985.17 | Agency | 7.83 | 0.00 | 0.00 | 299,973.00 |
| | FEDERAL HOME LOAN BANKS 313385AS5 | 800,000.00 | USD | 01/17/2017 | 01/17/2017 | Agency | 799,895.11 | Agency | 0.00 | -15.11 | 0.00 | 799,880.00 |
| | FEDERAL HOME LOAN BANKS 313385AY2 | 4,000,000.00 | USD | 01/23/2017 | 01/23/2017 | Agency | 3,999,022.22 | Agency | 137.78 | 0.00 | 0.00 | 3,999,160.00 |
| | FEDERAL HOME LOAN BANKS 313385BA3 | 425,000.00 | USD | 01/25/2017 | 01/25/2017 | Agency | 424,876.75 | Agency | 25.50 | 0.00 | 0.00 | 424,902.25 |
| | FEDERAL HOME LOAN BANKS 313385BA3 | 2,400,000.00 | USD | 01/25/2017 | 01/25/2017 | Agency | 2,399,267.20 | Agency | 180.80 | 0.00 | 0.00 | 2,399,448.00 |
| | FEDERAL HOME LOAN BANKS 313385BA3 | 4,025,000.00 | USD | 01/25/2017 | 01/25/2017 | Agency | 4,023,926.67 | Agency | 147.58 | 0.00 | 0.00 | 4,024,074.25 |
| | FEDERAL HOME LOAN BANKS 313385BA3 | 630,000.00 | USD | 01/25/2017 | 01/25/2017 | Agency | 629,865.60 | Agency | 0.00 | -10.50 | 0.00 | 629,855.10 |
| | FEDERAL HOME LOAN BANKS 313385BC9 | 4,700,000.00 | USD | 01/27/2017 | 01/27/2017 | Agency | 4,698,744.05 | Agency | 80.95 | 0.00 | 0.00 | 4,698,825.00 |
| | FEDERAL HOME LOAN BANKS 313385BC9 | 1,225,000.00 | USD | 01/27/2017 | 01/27/2017 | Agency | 1,224,593.03 | Agency | 100.72 | 0.00 | 0.00 | 1,224,693.75 |

HMCM-Exposure - Security Type

As of 12/31/2016

HMCM-Oakdale Irrigation Distri

Dated: 01/03/2017

Return to Table of Contents

| Description, Identifier | Current Units | Currency | Effective Maturity | Final Maturity | Security Type Category | Book Value | Market Sector | Unrealized Gain | Unrealized Loss | Accrued Balance | Market Value + Accrued |
|--------------------------------------|----------------------|------------|--------------------|-------------------|------------------------|----------------------|---------------|-----------------|-----------------|-----------------|------------------------|
| FEDERAL HOME LOAN BANKS 313385BS4 | 500,000.00 | USD | 02/10/2017 | 02/10/2017 | Agency | 499,705.55 | Agency | 94.45 | 0.00 | 0.00 | 499,800.00 |
| FEDERAL HOME LOAN BANKS 313385BX3 | 4,250,000.00 | USD | 02/15/2017 | 02/15/2017 | Agency | 4,247,237.50 | Agency | 850.00 | 0.00 | 0.00 | 4,248,087.50 |
| FEDERAL HOME LOAN BANKS | 29,580,000.00 | USD | 01/24/2017 | 01/24/2017 | Agency | 29,571,645.28 | Agency | 1,817.18 | -25.61 | 0.00 | 29,573,436.85 |

CP

| Description, Identifier | Current Units | Currency | Effective Maturity | Final Maturity | Security Type Category | Book Value | Market Sector | Unrealized Gain | Unrealized Loss | Accrued Balance | Market Value + Accrued |
|---|----------------------|------------|--------------------|-------------------|------------------------|----------------------|---------------|-----------------|-----------------|-----------------|------------------------|
| Apple Inc. 03785DQ16 | 1,675,000.00 | USD | 03/27/2017 | 03/27/2017 | CP | 1,672,033.86 | Industrial | 0.00 | 0.00 | 0.00 | 1,672,033.86 |
| Apple Inc. 03785DQX7 | 650,000.00 | USD | 03/31/2017 | 03/31/2017 | CP | 648,778.72 | Industrial | 0.00 | 0.00 | 0.00 | 648,778.72 |
| The Bank of Nova Scotia 06417JNV8 | 1,800,000.00 | USD | 01/30/2017 | 01/30/2017 | CP | 1,798,579.00 | Financial | 0.00 | 0.00 | 0.00 | 1,798,579.00 |
| The Bank of Nova Scotia 06417JQH8 | 700,000.00 | USD | 03/17/2017 | 03/17/2017 | CP | 698,395.83 | Financial | 0.00 | 0.00 | 0.00 | 698,395.83 |
| The Province of British Columbia, Government of 11070JQQ6 | 1,500,000.00 | USD | 03/24/2017 | 03/24/2017 | CP | 1,497,164.17 | Government | 0.00 | 0.00 | 0.00 | 1,497,164.17 |
| Chevron Corporation 1687JUR32 | 950,000.00 | USD | 04/03/2017 | 04/03/2017 | CP | 947,887.83 | Utility | 0.00 | 0.00 | 0.00 | 947,887.83 |
| The Coca-Cola Company 19121AU7 | 1,350,000.00 | USD | 07/10/2017 | 07/10/2017 | CP | 1,343,445.00 | Industrial | 0.00 | 0.00 | 0.00 | 1,343,445.00 |
| Microsoft Corporation 59515MQU2 | 1,250,000.00 | USD | 03/28/2017 | 03/28/2017 | CP | 1,247,431.95 | Industrial | 0.00 | 0.00 | 0.00 | 1,247,431.95 |
| Microsoft Corporation 59515MR49 | 820,000.00 | USD | 04/04/2017 | 04/04/2017 | CP | 818,199.42 | Industrial | 0.00 | 0.00 | 0.00 | 818,199.42 |
| Toyota Motor Credit Corporation 89233GP75 | 700,000.00 | USD | 02/07/2017 | 02/07/2017 | CP | 699,316.53 | Industrial | 0.00 | 0.00 | 0.00 | 699,316.53 |
| Toyota Motor Credit Corporation 89233GP75 | 1,800,000.00 | USD | 02/07/2017 | 02/07/2017 | CP | 1,798,150.00 | Industrial | 92.50 | 0.00 | 0.00 | 1,798,242.50 |
| CP | 13,195,000.00 | USD | 03/21/2017 | 03/21/2017 | CP | 13,169,382.31 | --- | 92.50 | 0.00 | 0.00 | 13,169,474.81 |

Corporate

| Description, Identifier | Current Units | Currency | Effective Maturity | Final Maturity | Security Type Category | Book Value | Market Sector | Unrealized Gain | Unrealized Loss | Accrued Balance | Market Value + Accrued |
|--|---------------|----------|--------------------|----------------|------------------------|--------------|---------------|-----------------|-----------------|-----------------|------------------------|
| AMERICAN HONDA FINANCE CORP 02665WAF8 | 654,000.00 | USD | 07/14/2017 | 07/14/2017 | Corporate | 654,925.14 | Industrial | 0.00 | -434.64 | 3,640.50 | 658,131.10 |
| BANK OF NEW YORK MELLON CORP 064059AA3 | 500,000.00 | USD | 06/20/2017 | 06/20/2017 | Corporate | 501,737.03 | Financial | 0.00 | -782.03 | 300.82 | 501,255.82 |
| BERKSHIRE HATHAWAY FINANCE CORP 084664BS9 | 1,043,000.00 | USD | 05/15/2017 | 05/15/2017 | Corporate | 1,045,744.53 | Financial | 0.00 | -1,075.73 | 2,132.36 | 1,046,801.16 |
| CHEVRON CORP 166764AK6 | 1,055,000.00 | USD | 11/15/2017 | 11/15/2017 | Corporate | 1,050,246.78 | Utility | 2,664.32 | 0.00 | 1,481.59 | 1,054,392.69 |
| JOHN DEERE CAPITAL CORP 24422ERW1 | 1,066,000.00 | USD | 10/10/2017 | 10/10/2017 | Corporate | 1,065,487.13 | Industrial | 0.00 | -62.77 | 2,878.20 | 1,068,302.56 |
| JOHN DEERE CAPITAL CORP 24422ERW1 | 485,000.00 | USD | 10/10/2017 | 10/10/2017 | Corporate | 485,987.43 | Industrial | 0.00 | -1,249.33 | 1,309.50 | 486,047.60 |
| INTERNATIONAL BUSINESS MACHINES CORP 459200HZ7 | 1,500,000.00 | USD | 02/06/2018 | 02/06/2018 | Corporate | 1,503,764.94 | Industrial | 0.00 | -7,274.94 | 6,796.88 | 1,503,286.88 |
| ROYAL BANK OF CANADA 78010UD20 | 1,000,000.00 | USD | 06/16/2017 | 06/16/2017 | Corporate | 1,000,858.98 | Financial | 0.00 | -2,148.98 | 520.83 | 999,230.83 |
| ROYAL BANK OF CANADA 78010UD20 | 1,000,000.00 | USD | 06/16/2017 | 06/16/2017 | Corporate | 999,970.42 | Financial | 0.00 | -1,260.42 | 520.83 | 999,230.83 |

HMCM-Exposure - Security Type

As of 12/31/2016

HMCM-Oakdale Irrigation Distri

Dated: 01/03/2017

[Return to Table of Contents](#)

| Description, Identifier | Current Units | Currency | Effective Maturity | Final Maturity | Security Type Category | Book Value | Market Sector | Unrealized Gain | Unrealized Loss | Accrued Balance | Market Value + Accrued |
|----------------------------|---------------|----------|--------------------|----------------|------------------------|---------------|---------------|-----------------|-----------------|-----------------|------------------------|
| U.S. BANCORP 91159HHD5 | 1,000,000.00 | USD | 04/15/2017 | 05/15/2017 | Corporate | 1,002,172.58 | Financial | 0.00 | -2,162.58 | 2,108.33 | 1,002,118.33 |
| WELLS FARGO & CO 94974BFD7 | 1,100,000.00 | USD | 05/08/2017 | 05/08/2017 | Corporate | 1,103,853.50 | Financial | 0.00 | -1,653.50 | 3,400.83 | 1,105,600.83 |
| -- | 10,403,000.00 | USD | 08/10/2017 | 08/13/2017 | Corporate | 10,414,748.47 | -- | 2,664.32 | -18,104.92 | 25,090.77 | 10,424,398.63 |

Currency

| Description, Identifier | Current Units | Currency | Effective Maturity | Final Maturity | Security Type Category | Book Value | Market Sector | Unrealized Gain | Unrealized Loss | Accrued Balance | Market Value + Accrued |
|-------------------------|---------------|----------|--------------------|----------------|------------------------|------------|---------------|-----------------|-----------------|-----------------|------------------------|
| Receivable CCYUSD | 12.34 | USD | 12/31/2016 | 12/31/2016 | Currency | 12.34 | Cash | 0.00 | 0.00 | 0.00 | 12.34 |
| Receivable CCYUSD | 12.34 | USD | 12/31/2016 | 12/31/2016 | Currency | 12.34 | Cash | 0.00 | 0.00 | 0.00 | 12.34 |

MM Fund

| Description, Identifier | Current Units | Currency | Effective Maturity | Final Maturity | Security Type Category | Book Value | Market Sector | Unrealized Gain | Unrealized Loss | Accrued Balance | Market Value + Accrued |
|---|---------------|----------|--------------------|----------------|------------------------|------------|---------------|-----------------|-----------------|-----------------|------------------------|
| FIDELITY INST : GOV PT CL I MMF 316175108 | 54,648.35 | USD | 12/31/2016 | 12/31/2016 | MM Fund | 54,648.35 | Cash | 0.00 | 0.00 | 0.00 | 54,648.35 |
| FIDELITY INST : GOV PT CL I MMF 316175108 | 54,648.35 | USD | 12/31/2016 | 12/31/2016 | MM Fund | 54,648.35 | Cash | 0.00 | 0.00 | 0.00 | 54,648.35 |

Summary

| Description, Identifier | Current Units | Currency | Effective Maturity | Final Maturity | Security Type Category | Book Value | Market Sector | Unrealized Gain | Unrealized Loss | Accrued Balance | Market Value + Accrued |
|-------------------------|---------------|----------|--------------------|----------------|------------------------|---------------|---------------|-----------------|-----------------|-----------------|------------------------|
| -- | 53,232,660.69 | USD | 03/18/2017 | 03/19/2017 | -- | 53,210,436.74 | -- | 4,574.00 | -18,130.53 | 25,090.77 | 53,221,970.98 |

* Grouped by: Security Type Category. * Groups Sorted by: Security Type Category. * Weighted by: Market Value + Accrued.



HMCM-Credit Events

Base Currency: USD 12/01/2016 - 12/31/2016

HMCM-Oakdale Irrigation Distri

Dated: 01/03/2017

[Return to Table of Contents](#)

| Account | Identifier | Description | Effective Date | Agency | Old Value | New Value | Event Type |
|---------|------------|-------------|----------------|--------|-----------|-----------|------------|
|---------|------------|-------------|----------------|--------|-----------|-----------|------------|

* Filtered By: Agency ≠ DBRS.



HMCM-Compliance Summary Report

12/01/2016 - 12/31/2016

HMCM-Oakdale Irrigation Distri

[Return to Table of Contents](#)

Dated: 01/03/2017

* Compliance Status as of previous business day.

Disclaimer

[Return to Table of Contents](#)

Dated: 01/03/2017

It is recommended that you compare the security positions shown on the periodic investment statement ("Investment statement") you receive from HighMark Capital Management to those shown on the statement you receive from the Custodian ("Custodial statement"). Differences in reported security positions may exist because investment statements are presented on a trade date basis whereas the information presented on the custodial statement is generally shown on a settlement date basis. There also may be differences in the values shown for your investments due to accrued but uncollected income and the use of differing valuation sources and methods.

DISCUSSION ITEM

Date: February 7, 2017
Item Number: 27
APN: N/A

SUBJECT: DISCUSSION ON WATER AVAILABILITY IN 2017

BACKGROUND AND DISCUSSION:

| | | |
|--------------------------------------|---------------------|---------------------------|
| OID River Diversions (1981 – 2016) | 246,285 acre feet | |
| OID River Diversions (2007 – 2011) | 234,706 acre feet | (Prior to 5-Year Drought) |
| OID River Diversions (2012 – 2016) | 205,772 acre feet | (During 5-Year Drought) |
| OID River Diversions (2006 – 2016) | 220,239 acre feet | (10 Year Average) |
| OID River Diversion (2017) | (230,000) acre feet | (Current Estimate) |
| OID Out-of-District Ag Water (est.) | (5,000) acre feet | |
| OID Total Diversion Budget (2017) | (235,000) acre feet | |
| OID Estimated* 2017 River Allocation | 300,000 acre feet | |
| OID Total Diversion Budget (2017) | (235,000) acre feet | |
| OID Unallocated River Water (2017) | 65,000 acre feet | |

* Seasonal water demand is affected by numerous factors. The amount of moisture in the soil profile on March 1st plays a key role in the start date of irrigation deliveries. Additionally, the amount and timing of spring rain has an effect in both the timing and volume of irrigation water demand. Lastly, the seasonal demand of the crop with respect to ET (evapotranspiration) can significantly increase or decrease the amount of irrigation water applied during the irrigation season.

Potential local users of Unallocated OID water:

- Paulsell Ag Farmers – 10,000 acres (+/-) but have declined to pay for study to get water.
- Del Puerto Irrigation District – No direct connection except through MID. They benefit from cross valley water sales but on a percentage basis.
- Eastside Irrigation District - No direct connection except through MID to TID.
- Modesto Irrigation District – Not interested
- Turlock Irrigation District – Not interested
- City of Oakdale – Not yet ready to take surface water (10K af reservation of water)
- City of Riverbank – Not interested
- City of Modesto – Not interested
- Stanislaus Regional Water Authority representing City of Turlock, South Modesto and Ceres- Not interested. They secured a water source from TID after 20 years of negotiations.

All OID water sales are predicated on doing a CEQA document:

- A Negative Declaration takes about 2-3 months at a cost of \$2,500 - \$7,500
- An Environmental Impact Report takes about 12-18 months at a cost of \$150,000 - \$250,000 (more costly if complicated or potential litigation).

OID Water Right:

- OID water available March 1 – November 1 under its water right.
- Under 1988 Agreement with Reclamation, water not used by September 30th reverts to the control of Reclamation. It's the "use it or lose it" paradigm.
- Prior to July 1 (most years) OID water use is from its pre-1914 water.
- After July 1 (most years) OID water use includes "stored water" which is post-1914 water.
- Pre-1914 water is not subject to State Water Resources Control Board authority.
- Post -1914 water is subject to State Water Resources Control Board authority.
- Water sold outside OID service area is not a reasonable and beneficial use unless done as a water transfer.
- Water transfers done to municipal users would require a "change in use" petition to the State Water Resources Control Board. This is a multi-year process.

Water Sales Strategy:

- OID Policy is to sell surplus (unallocated) water to generate revenues to pay operating and capital construction expenses. Without this strategy, water costs in OID would need to be increased to replace that revenue.
- OID will always evaluate local demand and needs first prior to making outside water sales.
- OID Financial Goals:
 - Construct \$15-\$20 million tunnel on South Main. (2017-2018)
 - Pay off \$23 million in bond debt. (2023)
 - Incrementally construct a \$35 million automated canal control system (TCC) using State Grant Funding (50%). (2017-2027)
 - Use water sale revenues to improve on-farm irrigation systems to meet state law. (2016-continuous)
 - Increase local benefits of water sales revenues for non-ag community benefits that meet SGMA, water reuse/recycling and dual purpose projects that advance water conservation and agriculture within the OID service area.

With OID's unallocated water predicted to be 65,000 acre feet on September 30th, it is the intent of OID staff to follow OID policy and get the highest return possible for the sale of its surplus water prior to September 30th.

ATTACHMENTS: None

Board Comments:



COMMUNICATIONS

GENERAL MANAGER'S REPORT – Attached

WATER OPERATIONS REPORTS – None Attached

WATER COUNSEL'S REPORT – None Attached

COMMITTEE REPORTS – None Attached

DIRECTORS' COMMENTS/SUGGESTIONS – None Attached

BOARD MEETING OF FEBRUARY 7, 2017

GENERAL MANAGER'S REPORT FEBRUARY 7, 2017

Safety Activities

1. OID has gone 104 days without a lost time injury accident.
2. February is fire extinguisher training.

Administration Activities

1. Staff is finalizing its consolidated comments on the SED. Should be wrapping up OID's comments in the next 2 weeks. Legal comments should be ready by the end of the month.
2. Settlement discussions for SJ River and its tributaries had their first meeting on January 25 and 26th. Scheduled to meet every other week for next 4 meetings.
3. OE3 labor negotiations have concluded. The MOU is being updated and then to the Board for approval.
4. Action Plan meeting with City Manager, City of Oakdale and OID Committee met on January 31st.
5. City of Oakdale's Mayor Luncheon was held on January 25th.
6. Sand Bar Dinner on February 11th.
7. Will be attending Steamboat Institute Seminar "The Path Forward: America in 2017 and Beyond at the end of February.
8. February 28th is the Northeast Region Farm Bureau Dinner. See Lori for tickets.

Legal Activities

1. OID/SSJID vs the State Water Resources Control Board; Curtailment case from 2015. Court date anticipated for this summer.
2. OID/SSJID as intervenors in the CalSPA v. SWRCB; A trial date is set for Alameda County Court on August 7, 2017.
3. OGA/Brichetto/Frobose vs. OID regarding CEQA case:
 - a. Hearing held on January 18th
4. OGA/Brichetto/Frobose vs. OID regarding Contempt of Court by OID:
 - a. Hearing held on January 18th. OID prevailed on the matter.
5. OID vs Directors Santos and Altieri regarding their ability to be in Closed Session on matters related to the OGA case due to their declarations in support of the OGA case, two breaches of closed session, and undisclosed conflict of interests with Frobose.
 - a. The case is moving forward.
6. Recall of Director for District 4
 - a. Candidacy period open from January 11th to February 9th.
 - b. A Recall election is scheduled for April 25th.
7. Redistricting Process
 - a. Staff had a conference call with Stanislaus County IT/GIS personnel. Lots of updating and data exchanges still occurring. Lots of "blanks" to fill in on map accuracy.
 - b. Regulatory compliance date is 180 days preceding the election or May 11, 2017

Construction Activities

1. C&M crews and equipment operators continue to progress on capital projects and maintenance work.
2. Assisting Water Ops./Eng. Dept. with various tasks including storm water management.

3. Conducting Safety Coordinator tasks as needed. Completed the annual review of the Emergency Action Plan and the Hazard Communication Standards Program with OID personnel.
4. Conducting Contract Administration tasks as needed.
5. C&M Leadman – Written test and interviews have been conducted. A C&M Worker, Cody Coonce was the successful candidate and has been promoted to a C&M Leadman.
6. C&M Worker – Posted in-house for the vacant position after filling the C&M Leadman position.
7. Two Mile Bar Tunnel Project – Bid opening occurred on 1/19 of which six bids were received ranging from \$12.4 to \$24.7 million. Staff along with Condor are reviewing the bids for responsibility and responsiveness and anticipate providing a recommendation to the Board to award the bid on 2/21.
8. Received correspondence from Deanne Dalrymple regarding OID's interest in purchasing $\frac{3}{4}$ " recycled concrete road base. Staff is in the process of reviewing.
9. Pest Dept. staff attended the annual required Magacide H safety and application training on 2/1.

Water Operations Activities

Engineering

1. Continued to process Encroachment and Ag Discharge Agreements and conduct field inspections during installation of the associated facilities.
2. Staff continued to work with landowners requesting deferred conditions of approval agreements, encroachment agreements and easements in accordance to OID's requirements for continued irrigation on recently completed lot line adjustments and parcel split projects.
3. Tule Evapotranspiration (ET) monitoring stations installed as part of the ET Monitoring and Measurement Project continued to collect data. Amendments to reflect the extended contract period were executed with each associated landowner.
4. Staff continued to work with South San Joaquin Irrigation District, Calaveras County Water District, San Joaquin County and Stanislaus County to complete the draft mapping of OID's proposed Groundwater Sustainability Agency (GSA) boundaries in the East San Joaquin Groundwater Basin (ESJGB).
5. Revisions to the draft Joint Powers Association (JPA) agreement for the ESJGB continued. The draft JPA agreement is anticipated to be finalized for Board review and consideration after the February 8th ESJGB work group meeting.
6. A public hearing announcement of OID's intent to elect to become a GSA in representation of the OID service area within the East San Joaquin Groundwater Subbasin (north of the Stanislaus River) was posted in the Oakdale Leader on February 1st and will be posted again on February 8th. A public hearing followed by potential adoption by OID's Board of Directors will occur at the February 21st meeting.
7. The STRGBA GSA MOU adoption and public hearings by each member agency continued. All agencies remain on schedule. A formal filing with DWR will be made in mid-February.
8. The Stanislaus County Technical Advisory Committee (TAC) meeting scheduled for February 9th has been cancelled. The next meeting will be held on March 9th.
9. Staff continued to work with CH2M and Stanislaus County staff to generate a draft boundary adjustment proposal that will balance not only population, but also more equally distribute acreage and small and large parcels amongst each director's

division. A GIS shapefile of other existing County election precinct boundaries was also provided to OID staff for review and consideration in doing so.

10. City staff continued to address a series of questions on the draft City of Oakdale Out of Boundary Service Agreement with OID on behalf of ID 41. Once these questions have been answered the agreement will be provided to the ID 41 membership for approval to proceed.
11. Staff continued surveying, design, cost estimates, landowner meetings and drafting of plans for future projects.

Ag Water

1. Continued to respond and address questions regarding volumetric water deliveries as they were received.
2. OID staff began working with Department of Water Resources (DWR) through the draft grant agreement process prior to final approval by the Board and initiation of any construction. Multiple years of OID's Comprehensive Annual Financial Reports were provided at DWR's request and are anticipated to be followed up with a cost-share commitment letter and resolution of acceptance upon approval by the Board.
3. Continued to progress with updates and slight modifications to the Storm tracking software mainly based on customer and DSO feedback to continue to improve functionality and effective utilization of the software.
4. SCADA integration of automated and metered sites continued.
5. Winter water operations continued.
6. Preparation for the 2017 irrigation season and DSO orientation and training was initiated.

Water Utilities

1. Improvement District No. 41:
 - Pumping Station No. 3 remains out of service due to high turbidity issues.
2. Domestic Water Pumping Stations:
 - All Domestic Water Pumping Stations that are in service are operational.
3. Domestic Water Systems:
 - All water systems are operating without restrictions.
 - Performed quarterly blow-off valve exercising.
 - Performed Air Relief Valve exercising.
 - Annual testing of all backflow devices has been completed in accordance with OID's Cross Connection Control Policy.
 - Conducted inspections of all well head seals and continued to replace them as needed.
4. On-Call Activities:
 - Improvement District 46 had a water outage due to PG&E issues during the last storm event. Their water service has since been restored.
5. Knights Ferry Pumping Station:
 - The Knights Ferry Pumps are active and continued to provide water to the treatment plant.
6. Irrigation Pumping Stations:
 - Agricultural deep well pumps have been deactivated for winter.
 - Inspections continued on all drain pumps that have been left in service for the winter.

Finance Activities

1. Ag billing delinquencies (flat rate and usage) were 28% at December 31, 2016.
2. Auditors began field work the week of January 23rd.
3. Working with the Administrative Assistant on a draft OE3 MOU.
4. Preparing closing entries for 2016 year-end, in addition to routine accounting functions (AP, AR, PR, billings, account reconciliations, etc.)



CLOSED SESSION ITEMS

BOARD MEETING OF FEBRUARY 7, 2017